





BOHLER ENGINEERING SERVICES/PA/PROJECT/2025/PC220255-00-0B---LAYOUT: C-201 EDMD/VAL

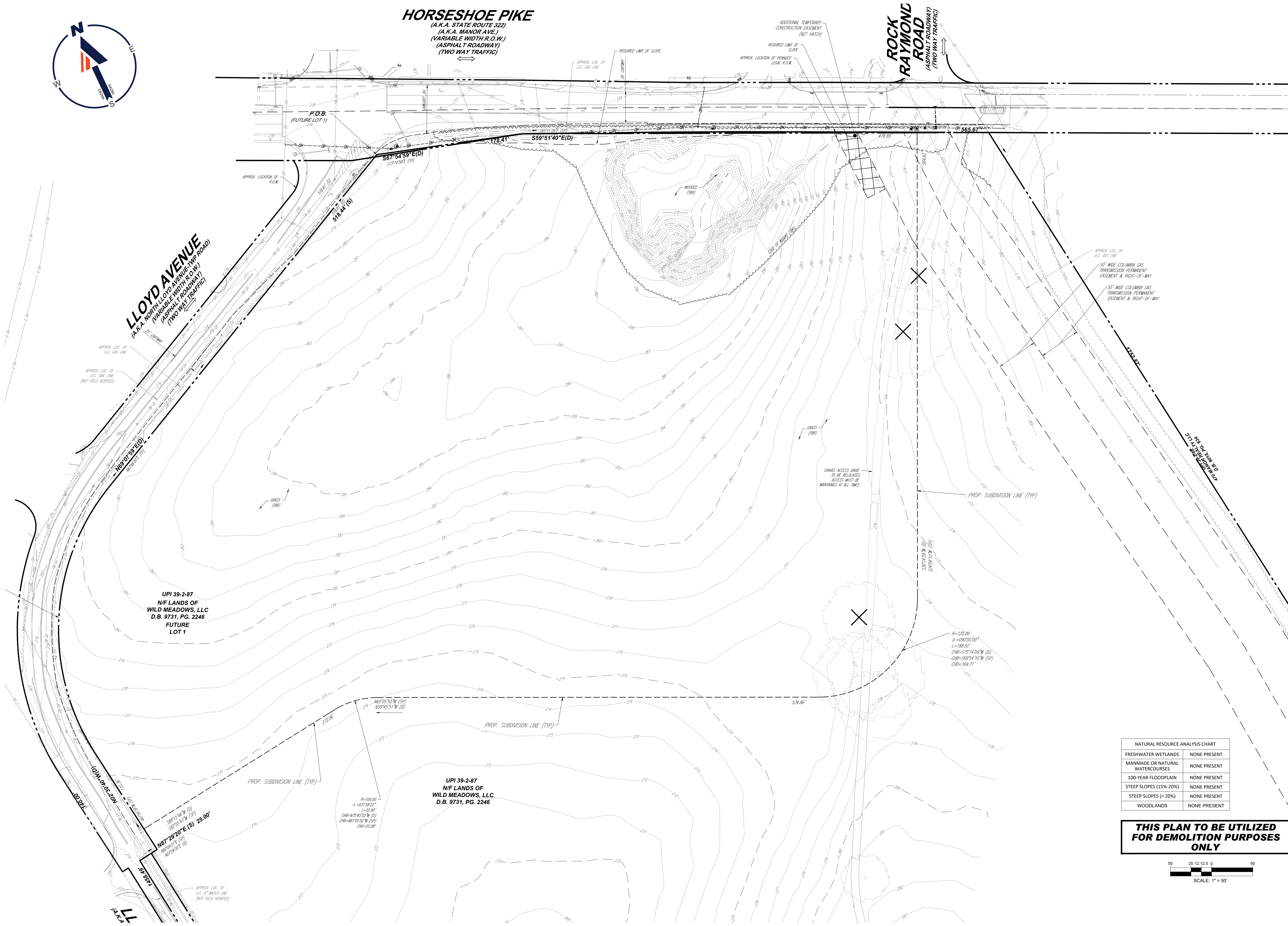


**HORSESHOE PIKE**

(A.K.A. STATE ROUTE 322)  
(A.K.A. MANOR AVE.)  
(VARIABLE WIDTH ROADWAY)  
(ASPHALT ROADWAY)  
(TWO WAY TRAFFIC)

**ROCK RAYMOND ROAD**  
(ASPHALT ROADWAY)  
(TWO WAY TRAFFIC)

**LLOYD AVENUE**  
(A.K.A. NORTH LLOYD AVENUE TWP ROAD)  
(VARIABLE WIDTH ROADWAY)  
(ASPHALT ROADWAY)  
(TWO WAY TRAFFIC)

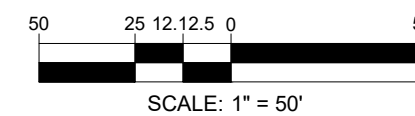


UPI 39-2-87  
N/F LANDS OF  
WILD MEADOWS, LLC  
D.B. 9731, PG. 2246  
FUTURE  
LOT 1

UPI 39-2-87  
N/F LANDS OF  
WILD MEADOWS, LLC  
D.B. 9731, PG. 2246

NATURAL RESOURCE ANALYSIS CHART	
FRESHWATER WETLANDS	NONE PRESENT
MANMADE OR NATURAL WATERCOURSES	NONE PRESENT
100-YEAR FLOODPLAIN	NONE PRESENT
STEEP SLOPES (15%-20%)	NONE PRESENT
STEEP SLOPES (>20%)	NONE PRESENT
WOODLANDS	NONE PRESENT

**THIS PLAN TO BE UTILIZED FOR DEMOLITION PURPOSES ONLY**



**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY

ATTENTION ALL CONTRACTORS: LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 897 OF 2014 AS AMENDED BY ACT 50 OF 2017, CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK.

PROJECT No.: PAC220255-00-0B  
DRAWN BY: SJA / AM  
CHECKED BY: LB / SP  
DATE: 10/04/2024  
CAD ID: P-CIVL-LDVP

PROJECT:  
**SUBDIVISION I  
PRELIMINARY LAND  
DEVELOPMENT  
PLANS**  
FOR  
**MAIN LINE  
HEALTH, INC.**  
PROPOSED MEDICAL CENTER  
5030 HORSESHOE PIKE  
CALN TOWNSHIP  
CHESTER COUNTY, PA  
UPI 32-2-87  
D.B. 9731, PG. 2246

**BOHLER**  
1515 MARKET STREET, SUITE 920  
PHILADELPHIA, PA 19102  
Phone: (267) 402-3400  
Fax: (267) 402-3401  
www.BohlerEngineering.com

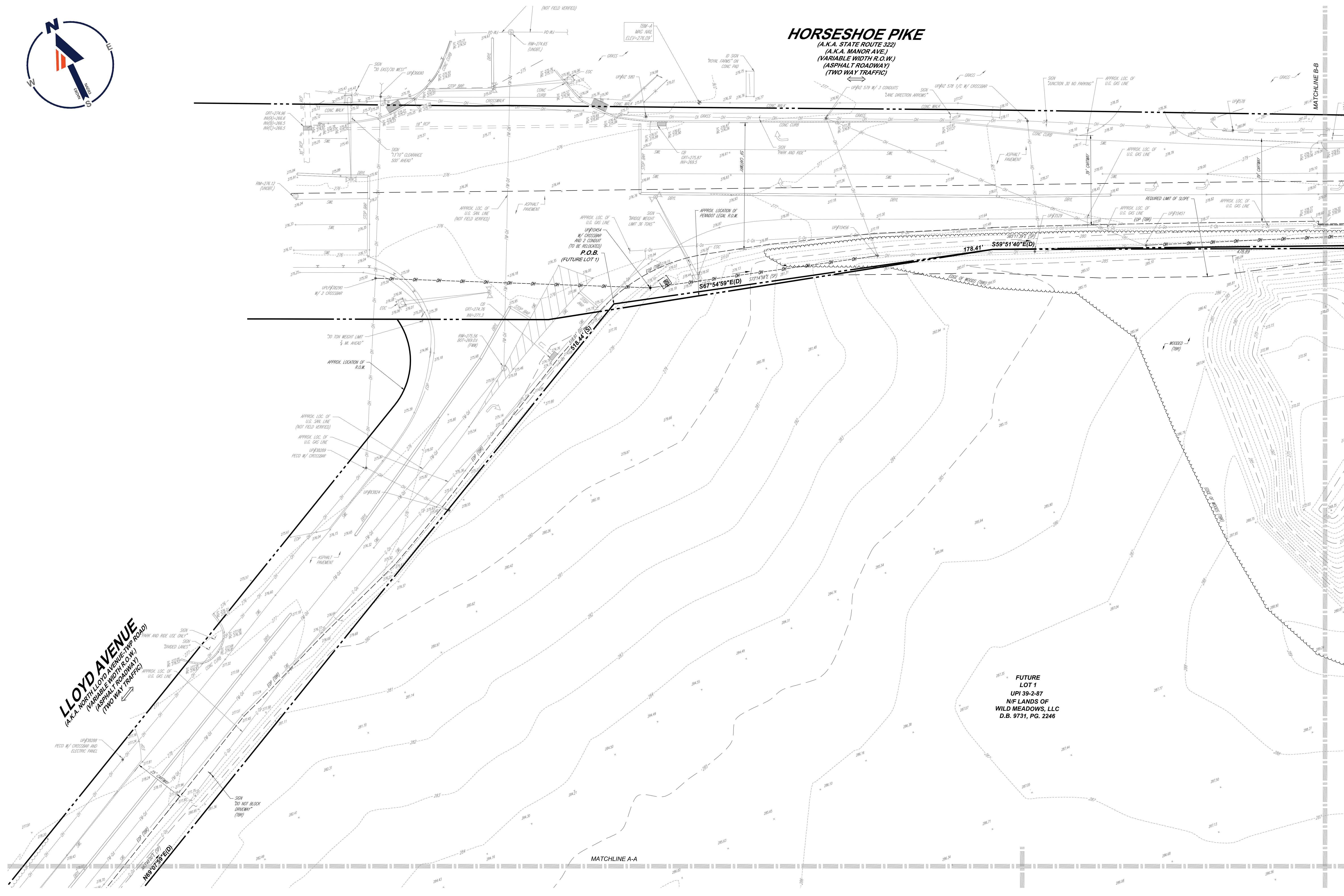


SHEET TITLE:  
**OVERALL  
EXISTING  
CONDITIONS/  
DEMO PLAN**  
SHEET NUMBER:  
**C-201**

ORG. DATE - 10/04/2024



**HORSESHOE PIKE**  
 (A.K.A. STATE ROUTE 322)  
 (A.K.A. MANOR AVE.)  
 (VARIABLE WIDTH R.O.W.)  
 (ASPHALT ROADWAY)  
 (TWO WAY TRAFFIC)



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 WWW.PA.CALLING.COM  
 800.937.3143

PROJECT No.: PAC220255-00-0B  
 DRAWN BY: SJA / AM  
 CHECKED BY: LB / SP  
 DATE: 10/04/2024  
 CAD ID: P-CIVIL-LDVP

PROJECT:  
**SUBDIVISION I  
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 DEVELOPMENT  
 PLANS**  
 FOR

**MAIN LINE  
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PROPOSED MEDICAL CENTER  
 5030 HORSESHOE PIKE  
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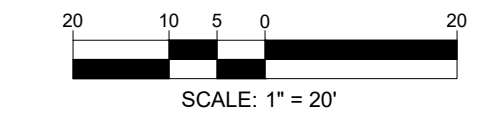


SHEET TITLE:  
**EXISTING  
 CONDITIONS/  
 DEMOLITION  
 PLAN**

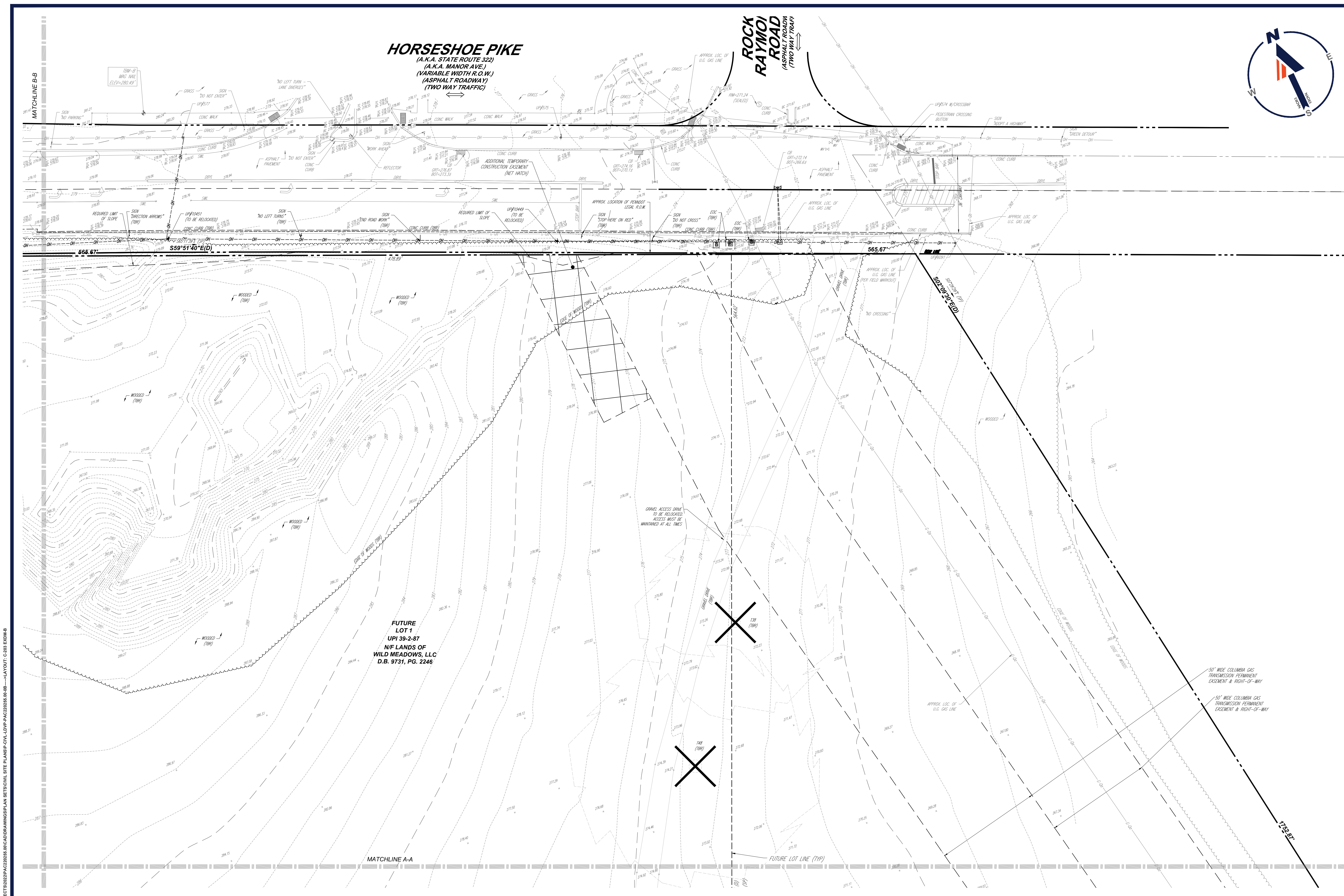
SHEET NUMBER:  
**C-202**

ORG. DATE - 10/04/2024

**THIS PLAN TO BE UTILIZED  
 FOR DEMOLITION PURPOSES  
 ONLY**



BOHLERENGINEERING\PA\PROJECTS\2024\2024-10-04\LDVP\AC220255-00-0B-00-LAYOUT-01.DWG C-202 ED04A



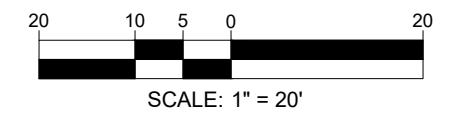
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 (A.K.A. STATE ROUTE 322)  
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 (VARIABLE WIDTH R.O.W.)  
 (ASPHALT ROADWAY)  
 (TWO WAY TRAFFIC)

**ROCK RAYMO ROAD**  
 (ASPHALT ROADWAY)  
 (TWO WAY TRAFFIC)



FUTURE LOT 1  
 UPI 39-2-87  
 N/F LANDS OF  
 WILD MEADOWS, LLC  
 D.B. 9731, PG. 2246

**THIS PLAN TO BE UTILIZED  
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**BOHLER**  
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 WWW.PHILADELPHIA.ORG  
 267.227.3143

PROJECT No.: PAC220255-00-0B  
 DRAWN BY: SJA / AM  
 CHECKED BY: LB / SP  
 DATE: 10/04/2024  
 CAD ID: P-CIVL-LDVP

**SUBDIVISION I  
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 DEVELOPMENT  
 PLANS**  
 FOR

**MAIN LINE  
 HEALTH, INC.**

PROPOSED MEDICAL CENTER  
 5030 HORSESHOE PIKE  
 CALN TOWNSHIP  
 CHESTER COUNTY, PA  
 UPI 32-2-87  
 D.B. 9731, PG. 2246

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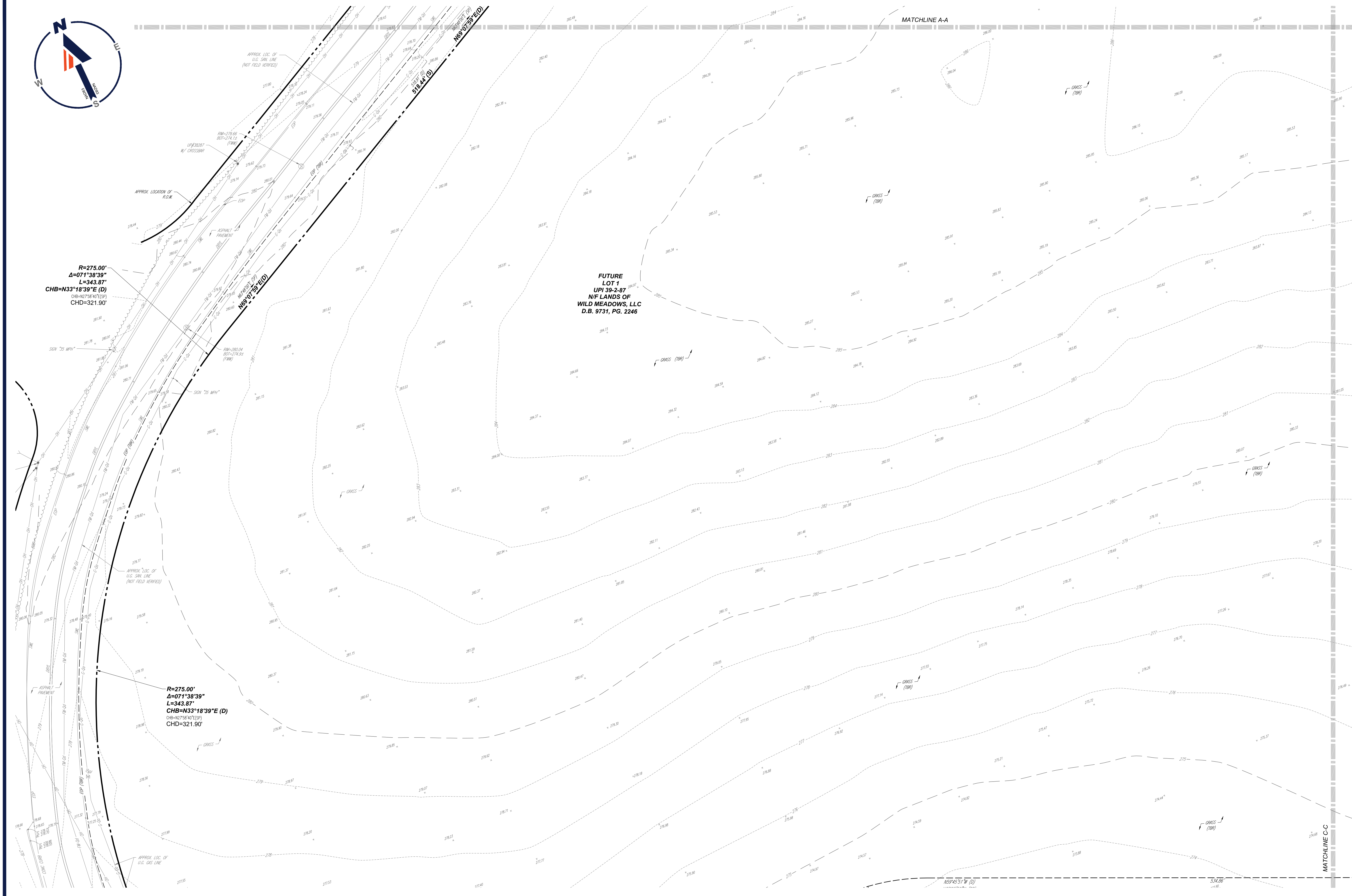


SHEET TITLE:  
**EXISTING  
 CONDITIONS/  
 DEMOLITION  
 PLAN**

SHEET NUMBER:  
**C-203**

ORG. DATE - 10/04/2024

I:\BOHLER\NETISHARES\PA\PROJECTS\2024\PAC220255-00-0B-000-1-LAYOUT-1-C-203-ED048



$R=275.00'$   
 $\Delta=071^{\circ}38'39''$   
 $L=343.87'$   
 $CHB=N33^{\circ}18'39''E(D)$   
 $CHB=N27^{\circ}58'40''E(SP)$   
 $CHD=321.90'$

$R=275.00'$   
 $\Delta=071^{\circ}38'39''$   
 $L=343.87'$   
 $CHB=N33^{\circ}18'39''E(D)$   
 $CHB=N27^{\circ}58'40''E(SP)$   
 $CHD=321.90'$

**FUTURE LOT 1**  
 UPI 32-2-87  
 N/F LANDS OF  
 WILD MEADOWS, LLC  
 D.B. 9731, PG. 2246

**BOHLER**  
 SITE CIVIL AND CONSULTING ENGINEERING  
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 WWW.PH.CALLING  
 267.402.3400

PROJECT No.: PAC220255-00-0B  
 DRAWN BY: SJA / AM  
 CHECKED BY: LB / SP  
 DATE: 10/04/2024  
 CAD ID: P-CIVIL-DVP

**PROJECT:**  
**SUBDIVISION I**  
**PRELIMINARY LAND DEVELOPMENT PLANS**  
 FOR

**MAIN LINE HEALTH, INC.**

**PROPOSED MEDICAL CENTER**  
 5030 HORSESHOE PIKE  
 CALN TOWNSHIP  
 CHESTER COUNTY, PA  
 UPI 32-2-87  
 D.B. 9731, PG. 2246

**BOHLER**  
 1515 MARKET STREET, SUITE 920  
 PHILADELPHIA, PA 19102  
 Phone: (267) 402-3400  
 Fax: (267) 402-3401  
[www.BohlerEngineering.com](http://www.BohlerEngineering.com)



**SHEET TITLE:**  
**EXISTING CONDITIONS/ DEMOLITION PLAN**

**SHEET NUMBER:**  
**C-204**

**ORG. DATE - 10/04/2024**

**THIS PLAN TO BE UTILIZED FOR DEMOLITION PURPOSES ONLY**

SCALE: 1" = 20'

I:\BOHLER\NET\SHARES\PA\PROJECTS\2024\2024-10-04\CIVIL-DVP\AC220255-00-0B-01-24\10-04-2024\10-04-2024\10-04-2024\CIVIL-DVP\AC220255-00-0B-01-24\10-04-2024\10-04-2024\C-204-EDM-C.dwg





**HORSESHOE PIKE**  
(A.K.A. STATE ROUTE 322)  
(A.K.A. MANOR AVE.)  
(VARIABLE WIDTH R.O.W.)  
(ASPHALT ROADWAY)  
(TWO WAY TRAFFIC)

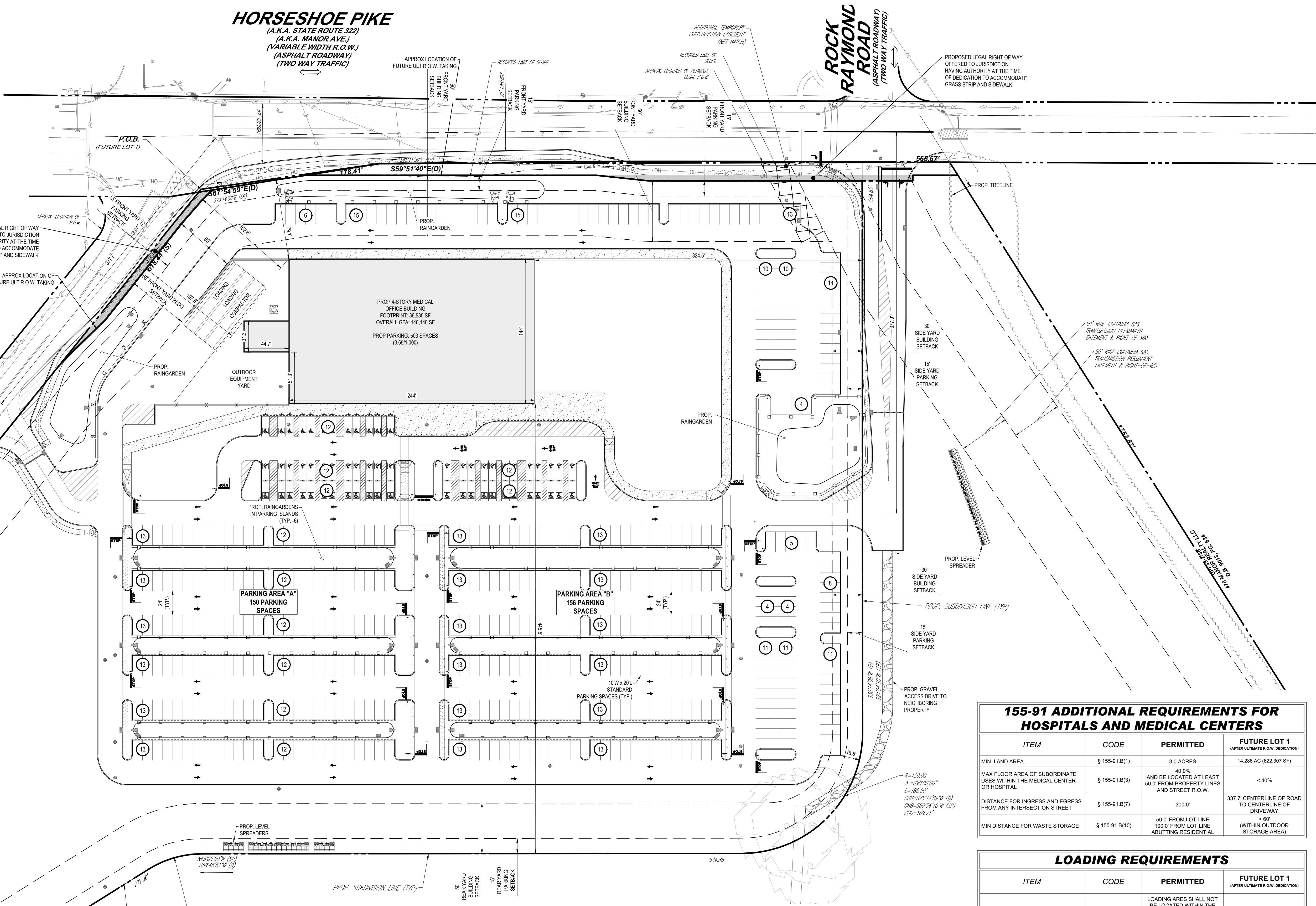
**ROCK RAYMOND ROAD**  
(ASPHALT ROADWAY)  
(TWO WAY TRAFFIC)

**LLOYD AVENUE**  
(A.K.A. NORTH LLOYD AVENUE (IMP. ROAD))  
(VARIABLE WIDTH R.O.W.)  
(ASPHALT ROADWAY)  
(TWO WAY TRAFFIC)

BOHLER ENGINEERING INC. PROJECT: 2025-01-01, SITE PLAN: 2025-01-01, LAYOUT: 2025-01-01, SITE: 2025-01-01

UPI 39-2-87  
N/4 LANDS OF  
WILD MEADOWS, LLC  
D.B. 9731, PG. 2246  
FUTURE  
LOT 1

UPI 39-2-87  
N/4 LANDS OF  
WILD MEADOWS, LLC  
D.B. 9731, PG. 2246



**155-91 ADDITIONAL REQUIREMENTS FOR HOSPITALS AND MEDICAL CENTERS**

ITEM	CODE	PERMITTED	FUTURE LOT 1 (AFTER ULTIMATE R.O.W. DEDICATION)
MIN. LAND AREA	§ 155-91(B)(1)	3.0 ACRES	14,286 AC (622,307 SF)
MAX FLOOR AREA OF SUBORDINATE USES WITHIN THE MEDICAL CENTER OR HOSPITAL	§ 155-91(B)(3)	40.0% AND BE LOCATED AT LEAST 50.0' FROM PROPERTY LINES AND STREET R.O.W.	< 40%
DISTANCE FOR INGRESS AND EGRESS FROM ANY INTERSECTION STREET	§ 155-91(B)(7)	300.0'	337.7' CENTERLINE OF ROAD TO CENTERLINE OF DRIVEWAY
MIN DISTANCE FOR WASTE STORAGE	§ 155-91(B)(10)	50.0' FROM LOT LINE 100.0' FROM LOT LINE ABUTTING RESIDENTIAL	> 60' (WITHIN OUTDOOR STORAGE AREA)

**LOADING REQUIREMENTS**

ITEM	CODE	PERMITTED	FUTURE LOT 1 (AFTER ULTIMATE R.O.W. DEDICATION)
LOCATION OF LOADING AREAS	§ 155-138-C	LOADING AREAS SHALL NOT BE LOCATED WITHIN THE REQUIRED FRONT YARD AND SHALL NOT BE LOCATED WITHIN 10 FEET OF ANY SIDE OR REAR LOT LINE	COMPLIES
MIN LOADING SPACE SIZE	§ 155-138-C	12.0' W X 45.0' L X 14.0' H	12.0' W X 80.0' X 14.0' H
MIN NUMBER OF LOADING SPACES	§ 155-138-D	OFFICE BUILDING OVER 20,000 SF; THREE (3) SPACES	COMPLIES. TWO (2) LOADING SPACES PROVIDED

**PARKING REQUIREMENTS**

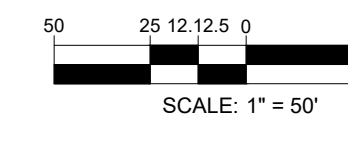
ITEM	CODE	PERMITTED	FUTURE LOT 1 (AFTER ULTIMATE R.O.W. DEDICATION)
MIN PARKING SPACE SIZE	§ 155-139-B	10.0' X 20.0'	10.0' X 20.0'
MIN DRIVE AISLE WIDTH FOR 90 DEGREE ANGLED SPACES	§ 155-139-A(1)	24.0'	24.0'
MIN HEIGHT OF BUFFER USED FOR RESIDENTIAL SCREENING	§ 155-139-N	4.0'	4.0'
MIN PARKING SETBACK	§ 155-139-O	15.0'	18.6'
MIN NUMBER OF LANDSCAPING ISLANDS IN PARKING FIELDS	§ 155-139-W(2)	RAISED PLANTERS SHALL BE PLACED SO THERE ARE NOT MORE THAN 15 SPACES IN A CONTINUOUS ROW	COMPLIES. MAX. 15 SPACES PROPOSED

**ZONING TABLE**  
EXISTING ZONE: R-2 LOW TO MEDIUM RESIDENTIAL DENSITY DISTRICT  
PROPOSED ZONE: C-2 REGIONAL COMMERCIAL DISTRICT THROUGH RE-ZONING PROCESS  
ROUTE 30 BYPASS INTERCHANGE OVERLAY DISTRICT  
PROPOSED USE: 155-28 C(10) HOSPITALS AND MEDICAL CENTERS (PERMITTED BY BY-RIGHT VIA ZONING TEXT AND MAP AMENDMENT)

**BULK REQUIREMENTS - C-2 DISTRICT**

ITEM	CODE	PERMITTED	EXISTING	FUTURE LOT 1 (AFTER ULTIMATE R.O.W. DEDICATION)	FUTURE LOT 2
MIN LOT AREA		3.0 AC	61.160 AC (2,664,141 SF)	14,286 AC (622,307 SF)	46,620 AC (2,030,758 SF)
MIN LOT WIDTH		200' (**)	643.4'	643.4'	1492'
MIN FRONT YARD SETBACK		60.0'	N/A	HORSESHOE PIKE: 79.1' LLOYD AVENUE: 60.0'	N/A
MIN SIDE YARD SETBACK (EACH)	155 ATTACHMENT B	30' (**)	N/A	324.5'	N/A
MIN REAR YARD SETBACK		50.0'	N/A	445.5'	N/A
MAX BUILDING HEIGHT		65' (*)	N/A	> 65'	N/A
MAX BUILDING COVERAGE		40% (**)	N/A	5.87% (36,535 SF)	N/A
MAX LOT COVERAGE		60.0% (**)	N/A	52.2% (324,567 SF)	N/A

(\*) - VIA ZONING TEXT AMENDMENT  
(\*\*) - VIA ROUTE 30 BYPASS INTERCHANGE OVERLAY DISTRICT



**REVISIONS**

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WWW.PHILADELPHIA.ORG  
267-237-3143

PROJECT No.: PAC220255-00-B  
DRAWN BY: SJA / AM  
CHECKED BY: LB / SP  
DATE: 10/04/2024  
CAD ID: P-CIVL-LDP

**SUBDIVISION I PRELIMINARY LAND DEVELOPMENT PLANS**

FOR  
**MAIN LINE HEALTH, INC.**  
PROPOSED MEDICAL CENTER  
5030 HORSESHOE PIKE  
CALN TOWNSHIP  
CHESTER COUNTY, PA  
UPI 32-2-87  
D.B. 9731, PG. 2246



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SHEET TITLE:  
**OVERALL SITE PLAN**

SHEET NUMBER:  
**C-301**

ORG. DATE - 10/04/2024

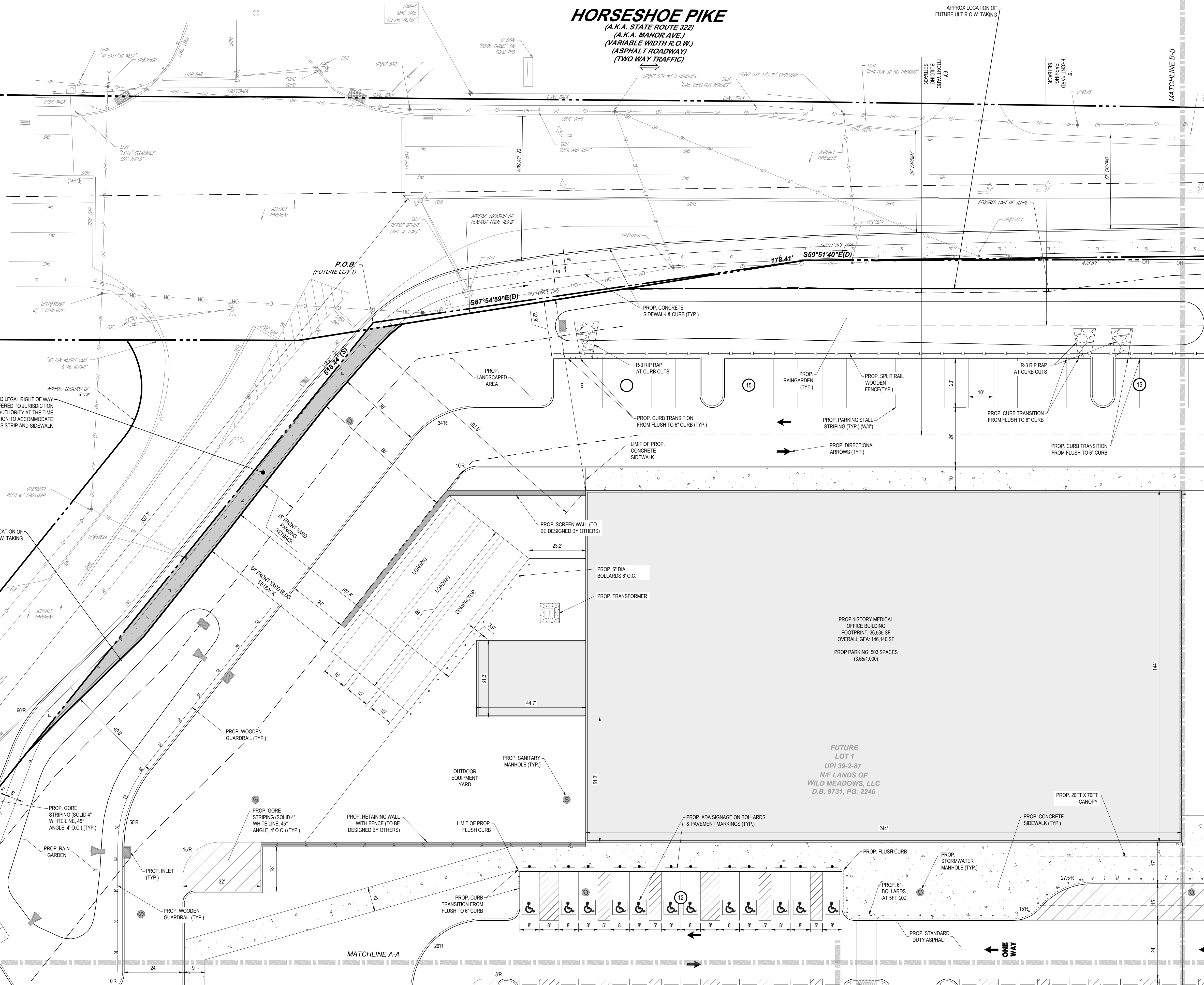




**HORSESHOE PIKE**  
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(A.K.A. MANOR AVE.)  
(VARIABLE WIDTH R.O.W.)  
(ASPHALT ROADWAY)  
(TWO WAY TRAFFIC)

APPROX LOCATION OF FUTURE ULT. R.O.W. TAKING

MATCHLINE B-B



**LLOYD AVENUE**  
(A.K.A. NORTH LLOYD AVENUE (IMP. ROAD))  
(VARIABLE WIDTH R.O.W.)  
(ASPHALT ROADWAY)  
(TWO WAY TRAFFIC)

PROPOSED LEGAL RIGHT OF WAY OFFERED TO JURISDICTION HAVING AUTHORITY AT THE TIME OF DEDICATION TO ACCOMMODATE GRASS STRIP AND SIDEWALK

PROP 4-STORY MEDICAL OFFICE BUILDING  
FOOTPRINT: 36,535 SF  
OVERALL GFA: 146,140 SF  
PROP PARKING: 503 SPACES (3,651,000)

FUTURE LOT 1  
UPI 33-2-87  
N/F LANDS OF WILD MEADOWS, LLC  
D.B. 9731, PG. 2246

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WWW.PH.CALLING.COM  
800.237.3343

PROJECT No.: PAC220255-00-B  
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CAD ID: P-CIVIL-LDVP

PROJECT:  
**SUBDIVISION I  
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PLANS**  
FOR  
**MAIN LINE  
HEALTH, INC.**

PROPOSED MEDICAL CENTER  
5030 HORSESHOE PIKE  
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CHESTER COUNTY, PA  
UPI 32-2-87  
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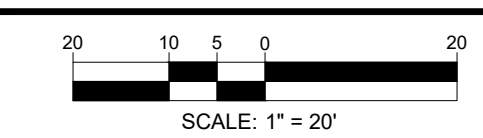


SHEET TITLE:  
**SITE  
PLAN**

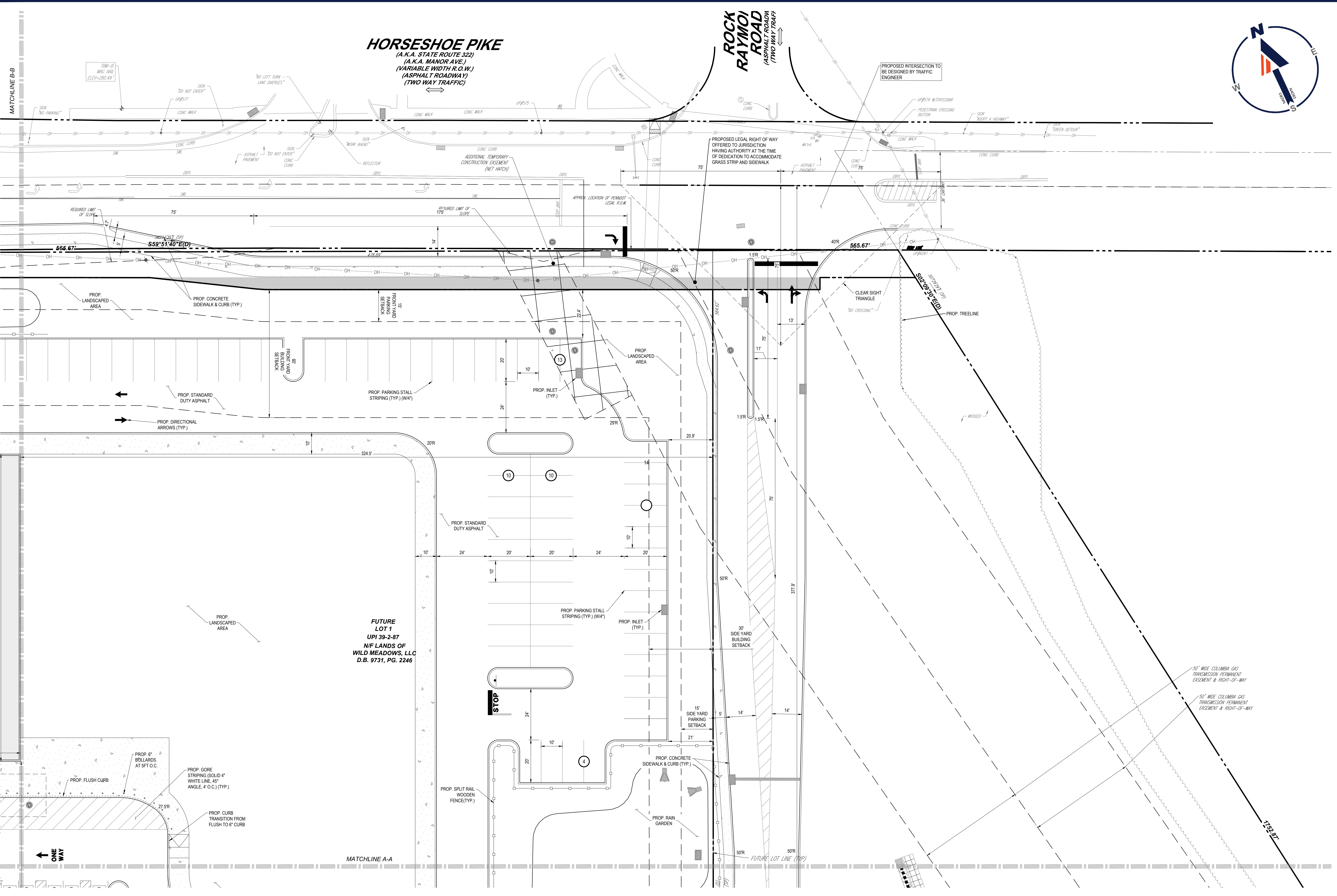
SHEET NUMBER:  
**C-302**

ORG. DATE - 10/04/2024

**THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY**



I:\BOHLER\NET\SHARES\PA\PROJECTS\2024\PA220255-00-B\2024\10\04\LDVP\CIVIL\DRAWINGS\PLAN SETS\CIVIL SITE PLAN\PA-CIVIL-LDVP-PAC220255-00-B-1-LAYOUT-C-302 SITE A.dwg



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 PLANS**  
 FOR

**MAIN LINE  
 HEALTH, INC.**

PROPOSED MEDICAL CENTER  
 5030 HORSESHOE PIKE  
 CALN TOWNSHIP  
 CHESTER COUNTY, PA  
 UPI 32-2-87  
 D.B. 9731, PG. 2246

**BOHLER**  
 1515 MARKET STREET, SUITE 920  
 PHILADELPHIA, PA 19102  
 Phone: (267) 402-3400  
 Fax: (267) 402-3401  
 www.BohlerEngineering.com

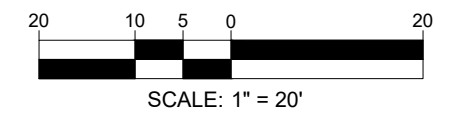


**SITE  
 PLAN**

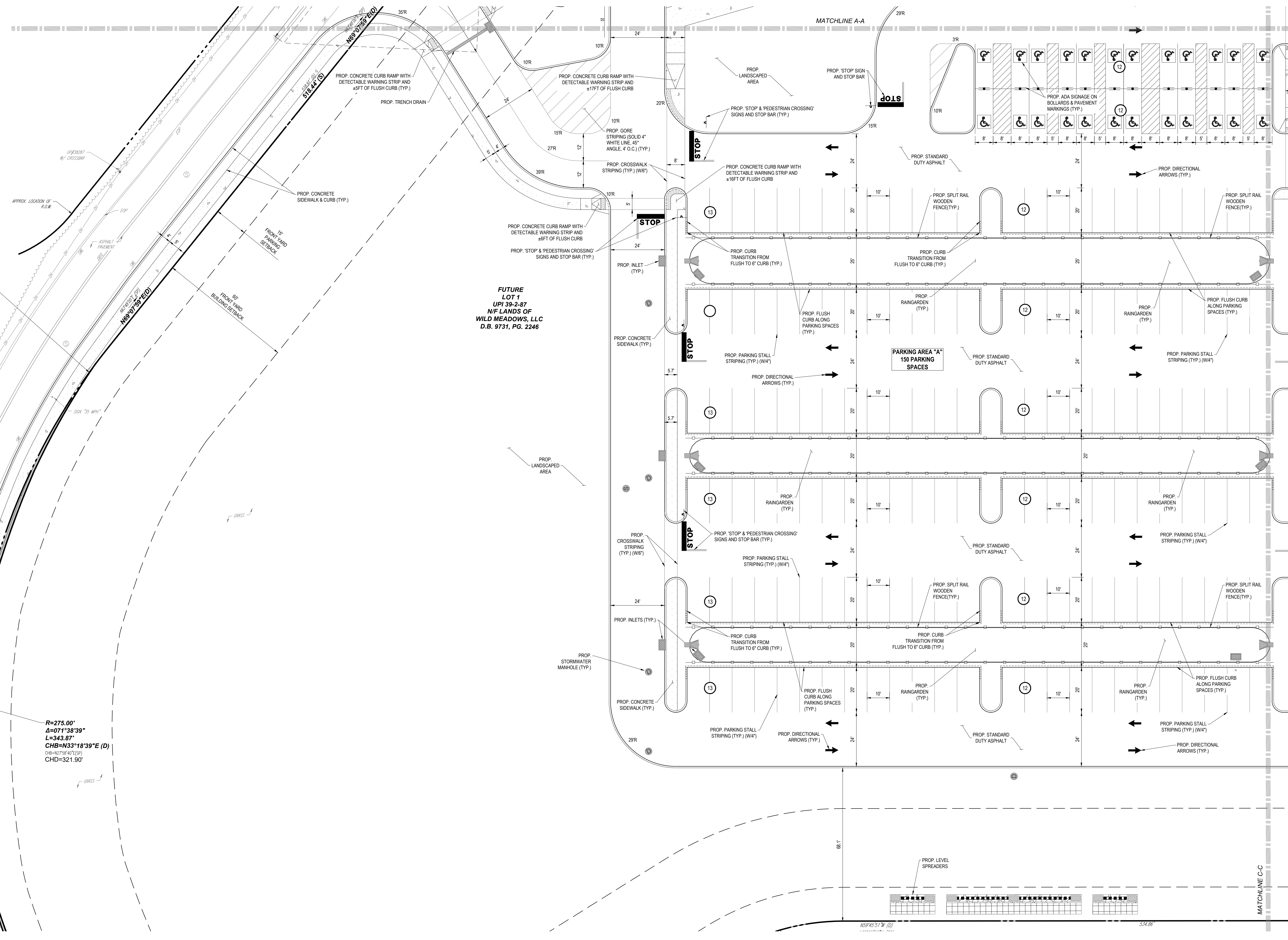
SHEET NUMBER:  
**C-303**

ORG. DATE - 10/04/2024

**THIS PLAN TO BE UTILIZED  
 FOR SITE LAYOUT PURPOSES  
 ONLY**



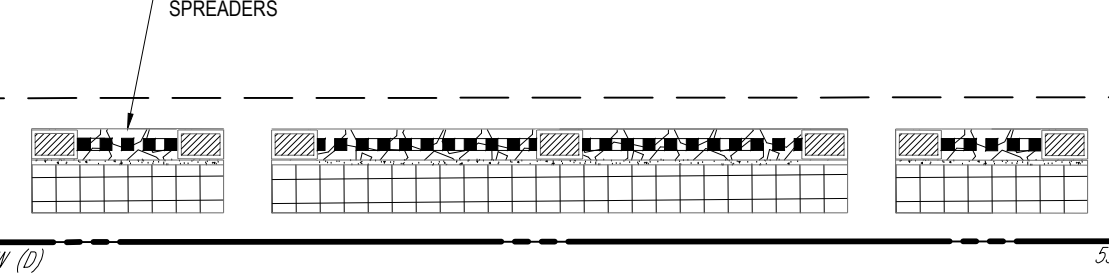
\BOHLER\NET\SHARES\PA\PROJECTS\2024\2024-PAC220255-00-0B-00-00-LAYOUT-C-303 SITE B



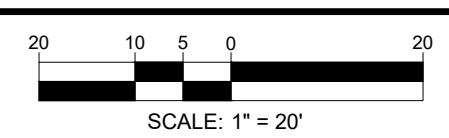
R=275.00'  
 Δ=071°38'39"  
 L=343.87'  
 CHB=N33°18'39"E (D)  
 CHB=N27°58'40"E (SP)  
 CHD=321.90'

R=275.00'  
 Δ=071°38'39"  
 L=343.87'  
 CHB=N33°18'39"E (D)  
 CHB=N27°58'40"E (SP)  
 CHD=321.90'

**FUTURE LOT 1**  
 UPI 39-2-87  
 N/F LANDS OF  
 WILD MEADOWS, LLC  
 D.B. 9731, PG. 2246



**THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY**



**BOHLER**  
 SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

**ATTENTION ALL CONTRACTORS:**  
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 WWW.PHILADELPHIA.ORG  
 #6292973143

PROJECT No.: PAC220255-00-0B  
 DRAWN BY: SJA / AM  
 CHECKED BY: LB / SP  
 DATE: 10/04/2024  
 CAD LD: P-CIVL-LDVP

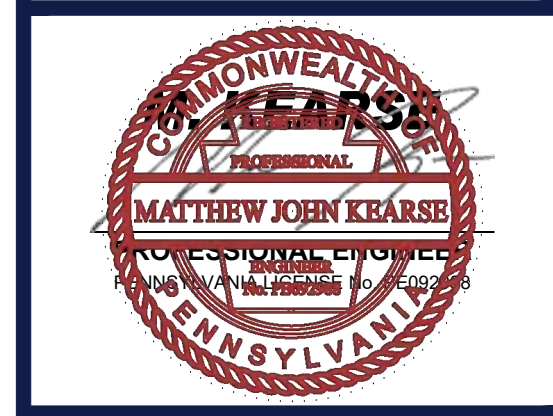
**PROJECT:**  
**SUBDIVISION I**  
**PRELIMINARY LAND DEVELOPMENT PLANS**  
 FOR

**MAIN LINE HEALTH, INC.**

PROPOSED MEDICAL CENTER

5030 HORSESHOE PIKE  
 CALN TOWNSHIP  
 CHESTER COUNTY, PA  
 UPI 32-2-87  
 D.B. 9731, PG. 2246

**BOHLER**  
 1515 MARKET STREET, SUITE 920  
 PHILADELPHIA, PA 19102  
 Phone: (267) 402-3400  
 Fax: (267) 402-3401  
 www.BohlerEngineering.com

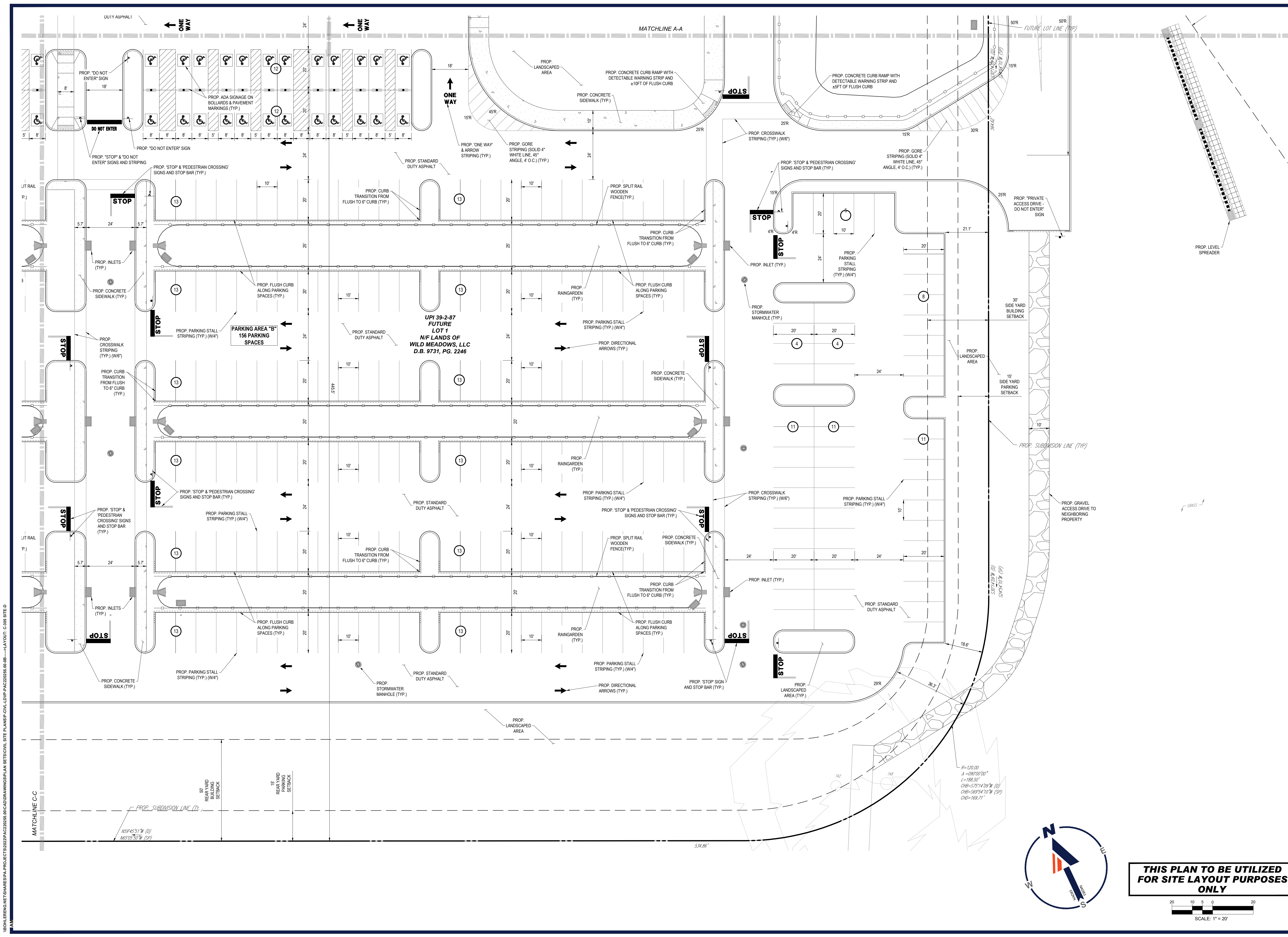


SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**C-304**

ORG. DATE - 10/04/2024

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**REVISIONS**

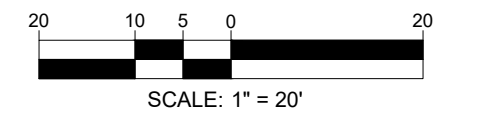
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 PENNSYLVANIA LEGISLATIVE ACT NUMBER 897 OF 2014 AS  
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 LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND  
 FACILITIES PRIOR TO START OF WORK.  
 WWW.PHILCAL.ORG  
 #620273143

PROJECT No.: PAC220255-00-0B  
 DRAWN BY: SJA / AM  
 CHECKED BY: LB / SP  
 DATE: 10/04/2024  
 CAD ID: P-CIVL-LDVP

**SUBDIVISION I  
 PRELIMINARY LAND  
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 PLANS**  
 FOR  
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 HEALTH, INC.**  
 PROPOSED MEDICAL CENTER  
 5030 HORSESHOE PIKE  
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 CHESTER COUNTY, PA  
 UPI 32-2-87  
 D.B. 9731, PG. 2246

**THIS PLAN TO BE UTILIZED  
 FOR SITE LAYOUT PURPOSES  
 ONLY**



BOHLER ENGINEERING INC. PROJECT 20242255-00-0B - LAYOUT: C-305 SITE 0

**REVISIONS**

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 WWW.PHILADELPHIA.ORG  
 #262373143

PROJECT No.: PAC220255-00-B  
 DRAWN BY: SJA / AM  
 CHECKED BY: LB / SP  
 DATE: 10/04/2024  
 CAD ID: P-CIVL-LDP

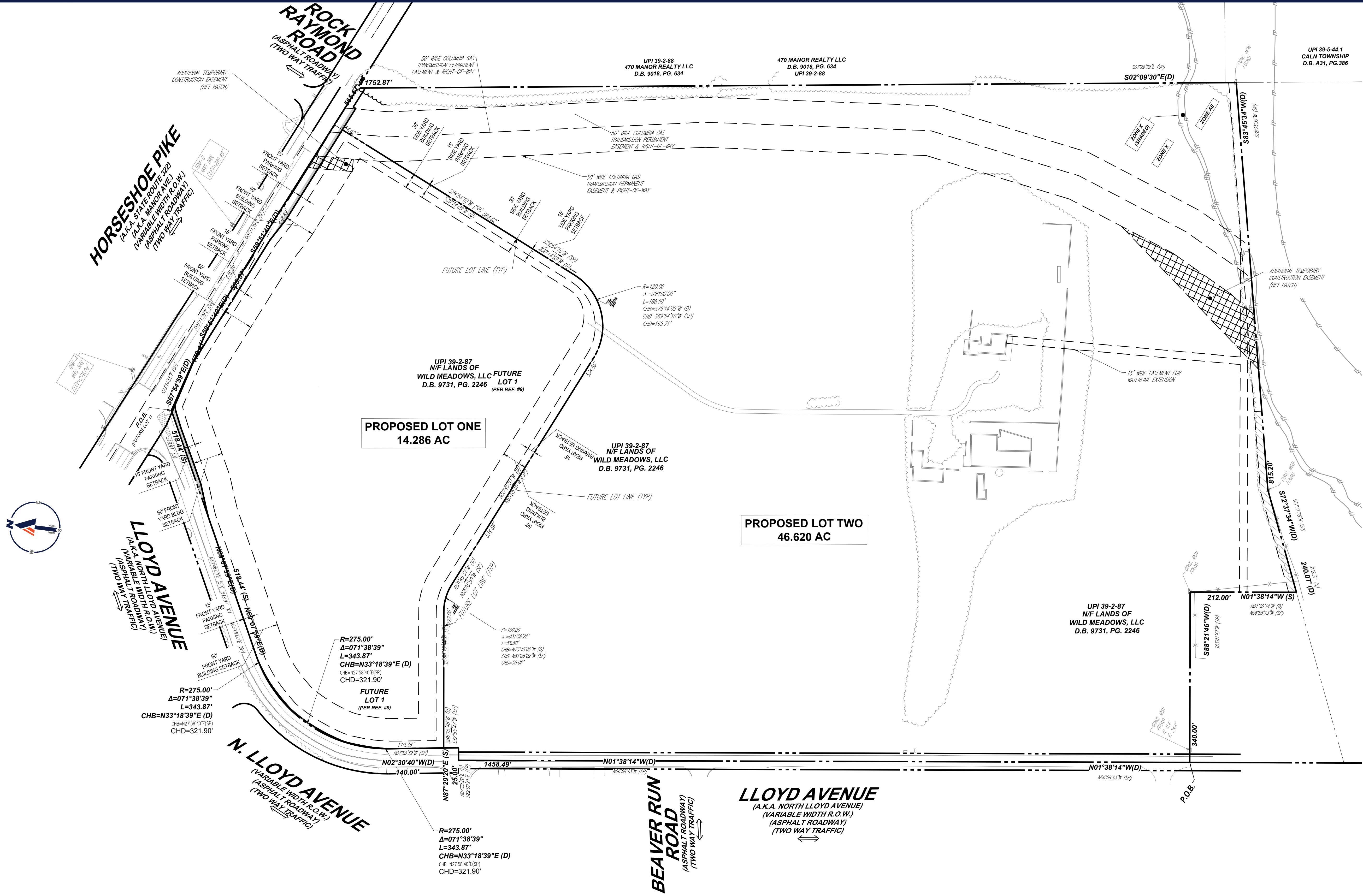
**SUBDIVISION I  
 PRELIMINARY LAND  
 DEVELOPMENT  
 PLANS**  
 FOR  
**MAIN LINE  
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 PROPOSED MEDICAL CENTER  
 5030 HORSESHOE PIKE  
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**BOHLER**  
 1515 MARKET STREET, SUITE 920  
 PHILADELPHIA, PA 19102  
 Phone: (267) 402-3400  
 Fax: (267) 402-3401  
 www.BohlerEngineering.com



SHEET TITLE:  
**PROPOSED  
 SUBDIVISION  
 PLAN**  
 SHEET NUMBER:  
**C-310**

ORG. DATE - 10/04/2024



**ZONING TABLE**

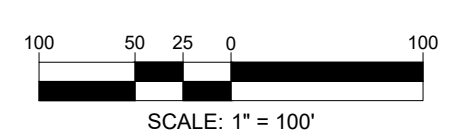
EXISTING ZONE: R-2 LOW TO MEDIUM RESIDENTIAL DENSITY DISTRICT  
 PROPOSED ZONE: C-2 REGIONAL COMMERCIAL DISTRICT THROUGH RE-ZONING PROCESS  
 ROUTE 30 BYPASS INTERCHANGE OVERLAY DISTRICT  
 PROPOSED USE: 155-28.C(10) HOSPITALS AND MEDICAL CENTERS (PERMITTED BY BY-RIGHT VIA ZONING TEXT AND MAP AMENDMENT)

BULK REQUIREMENTS - C-2 DISTRICT					
ITEM	CODE	PERMITTED	EXISTING	FUTURE LOT 1 (AFTER ULTIMATE R.O.W. DEDICATION)	FUTURE LOT 2
MIN LOT AREA		3.0 AC	61,160 AC (2,664,141 SF)	14,286 AC (622,307 SF)	46,620 AC (2,030,756 SF)
MIN LOT WIDTH		200' (**)	643.4'	643.4'	1492'
MIN FRONT YARD SETBACK		60.0'	N/A	HORSESHOE PIKE: 78.1' LOYD AVENUE: 60.0'	N/A
MIN SIDE YARD SETBACK (EACH)	155 ATTACHMENT 8	30' (**)	N/A	324.5'	N/A
MIN REAR YARD SETBACK		50.0'	N/A	445.5'	N/A
MAX BUILDING HEIGHT		65' (*)	N/A	> 65'	N/A
MAX BUILDING COVERAGE		40% (**)	N/A	5.87% (36,535 SF)	N/A
MAX LOT COVERAGE		60.0% (**)	N/A	52.2% (324,567 SF)	N/A

(\*) - VIA ZONING TEXT AMENDMENT  
 (\*\*) - VIA ROUTE 30 BYPASS INTERCHANGE OVERLAY DISTRICT

**155-91 ADDITIONAL REQUIREMENTS FOR HOSPITALS AND MEDICAL CENTERS**

ITEM	CODE	PERMITTED	FUTURE LOT 1 (AFTER ULTIMATE R.O.W. DEDICATION)
MIN. LAND AREA	\$ 155-91 B(1)	3.0 ACRES	14,286 AC (622,307 SF)
MAX FLOOR AREA OF SUBORDINATE USES WITHIN THE MEDICAL CENTER OR HOSPITAL	\$ 155-91 B(3)	40.0% AND BE LOCATED AT LEAST 50.0' FROM PROPERTY LINES AND STREET R.O.W.	< 40%
DISTANCE FOR INGRESS AND EGRESS FROM ANY INTERSECTION STREET	\$ 155-91 B(7)	300.0'	337.7' CENTERLINE OF ROAD TO CENTERLINE OF DRIVEWAY
MIN DISTANCE FOR WASTE STORAGE	\$ 155-91 B(10)	50.0' FROM LOT LINE 100.0' FROM LOT LINE ABUTTING RESIDENTIAL	> 60' (WITHIN OUTDOOR STORAGE AREA)



BOHLER ENGINEERING, INC. PROJECT: PAC220255-00-B-155-91 SUBDIVISION I LAYOUT: C-310 SUBDIVISION

B:\BOHLER\NET\SHARED\PA\PROJECT\32022\PA\AC220225\KVIC\DRAWINGS\PLAN SETS\CIVIL SITE PLAN\BP-CIVIL-LDVP-PAC220225-00-00-00-LAYOUT-C-320 VEHIC

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY



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WWW.PH.CALL.ORG  
 800.237.3343

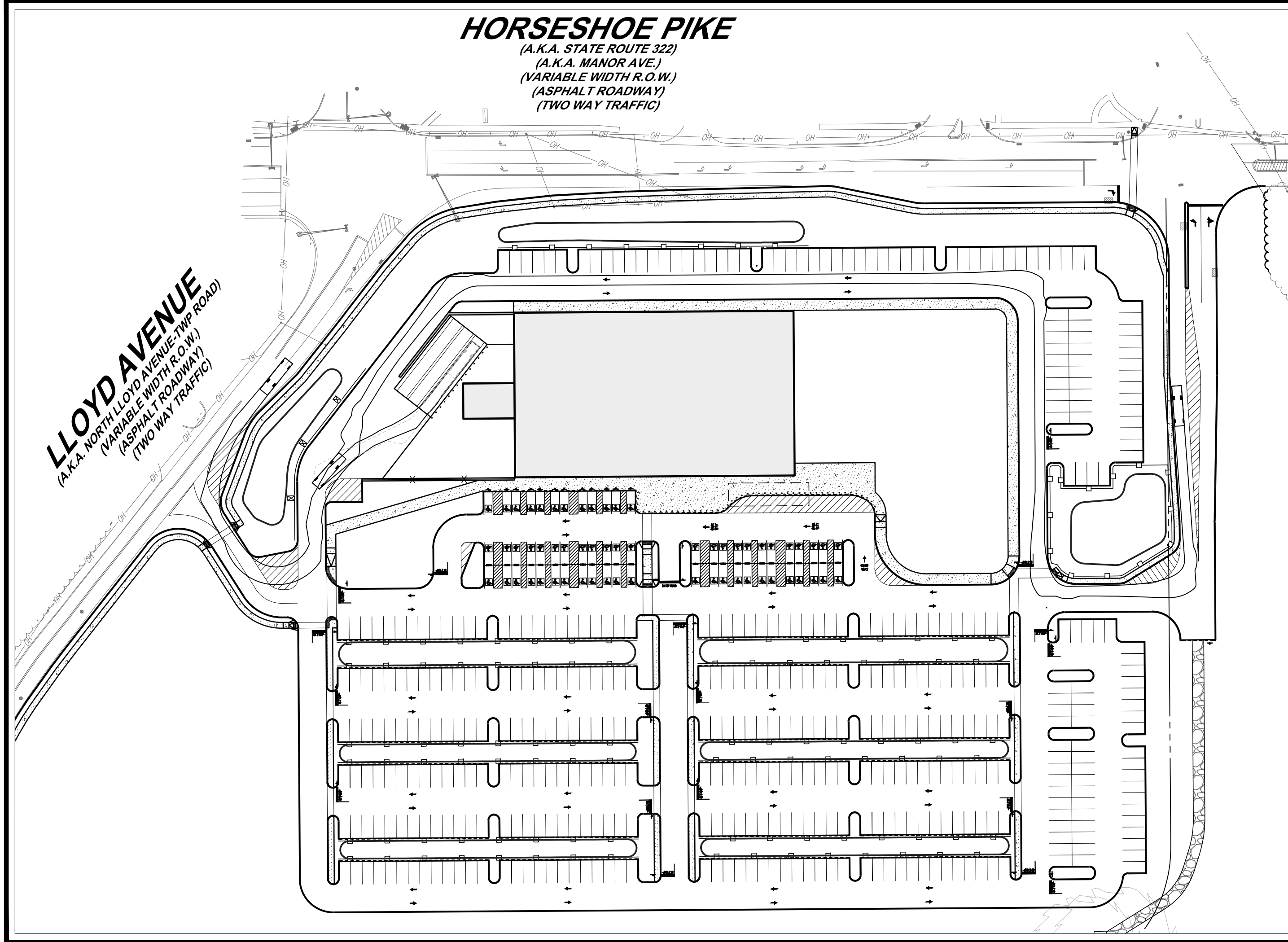
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 DRAWN BY: SJA / AM  
 CHECKED BY: LB / SP  
 DATE: 10/04/2024  
 CAD ID: P-CIVIL-LDVP

PROJECT:  
**SUBDIVISION I  
 PRELIMINARY LAND  
 DEVELOPMENT  
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 FOR  
**MAIN LINE  
 HEALTH, INC.**  
 PROPOSED MEDICAL CENTER  
 5030 HORSESHOE PIKE  
 CALN TOWNSHIP  
 CHESTER COUNTY, PA  
 UPI 32-2-87  
 D.B. 9731, PG. 2246

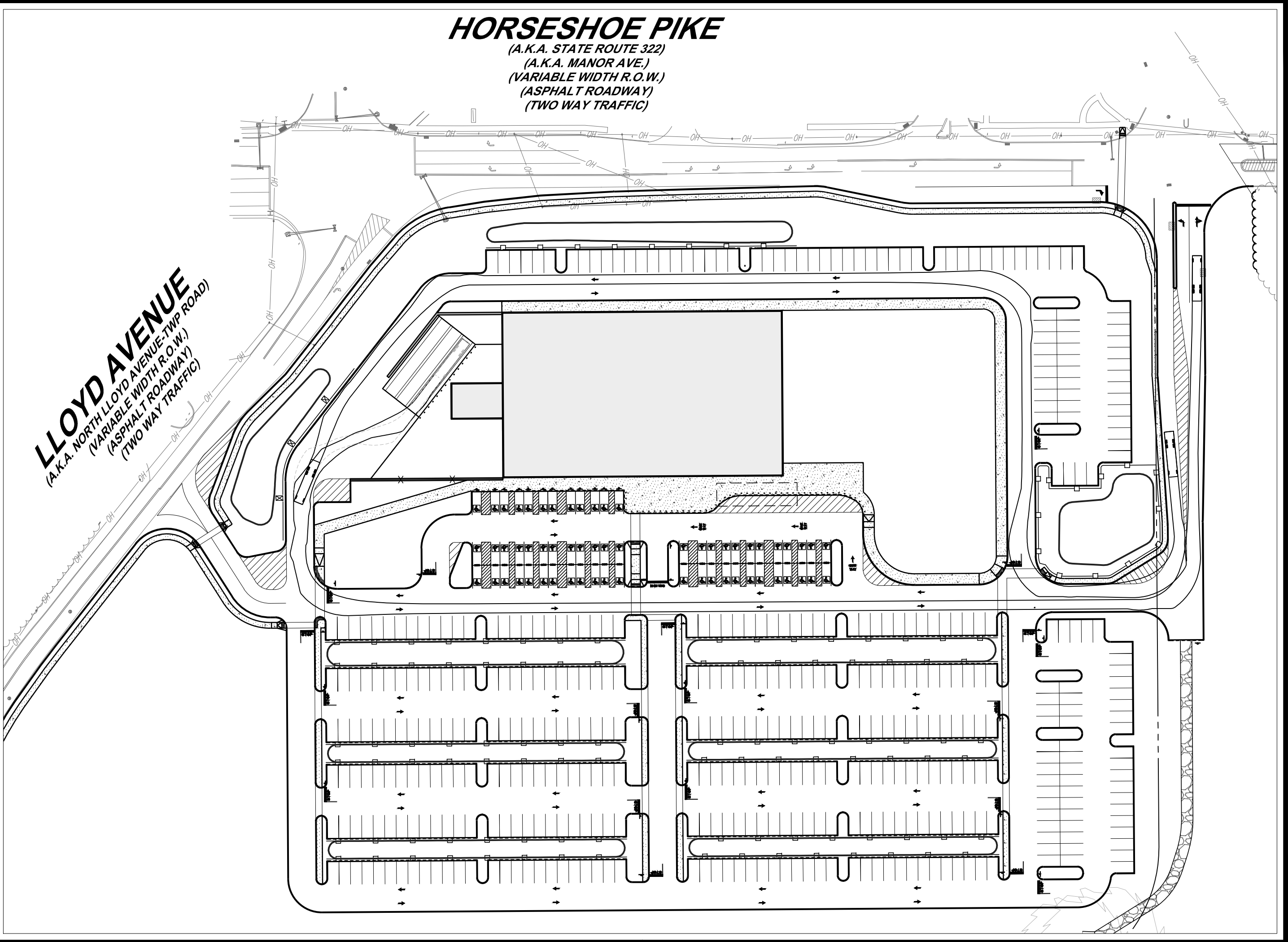
**BOHLER**  
TM  
 1515 MARKET STREET, SUITE 920  
 PHILADELPHIA, PA 19102  
 Phone: (267) 402-3400  
 Fax: (267) 402-3401  
www.BohlerEngineering.com



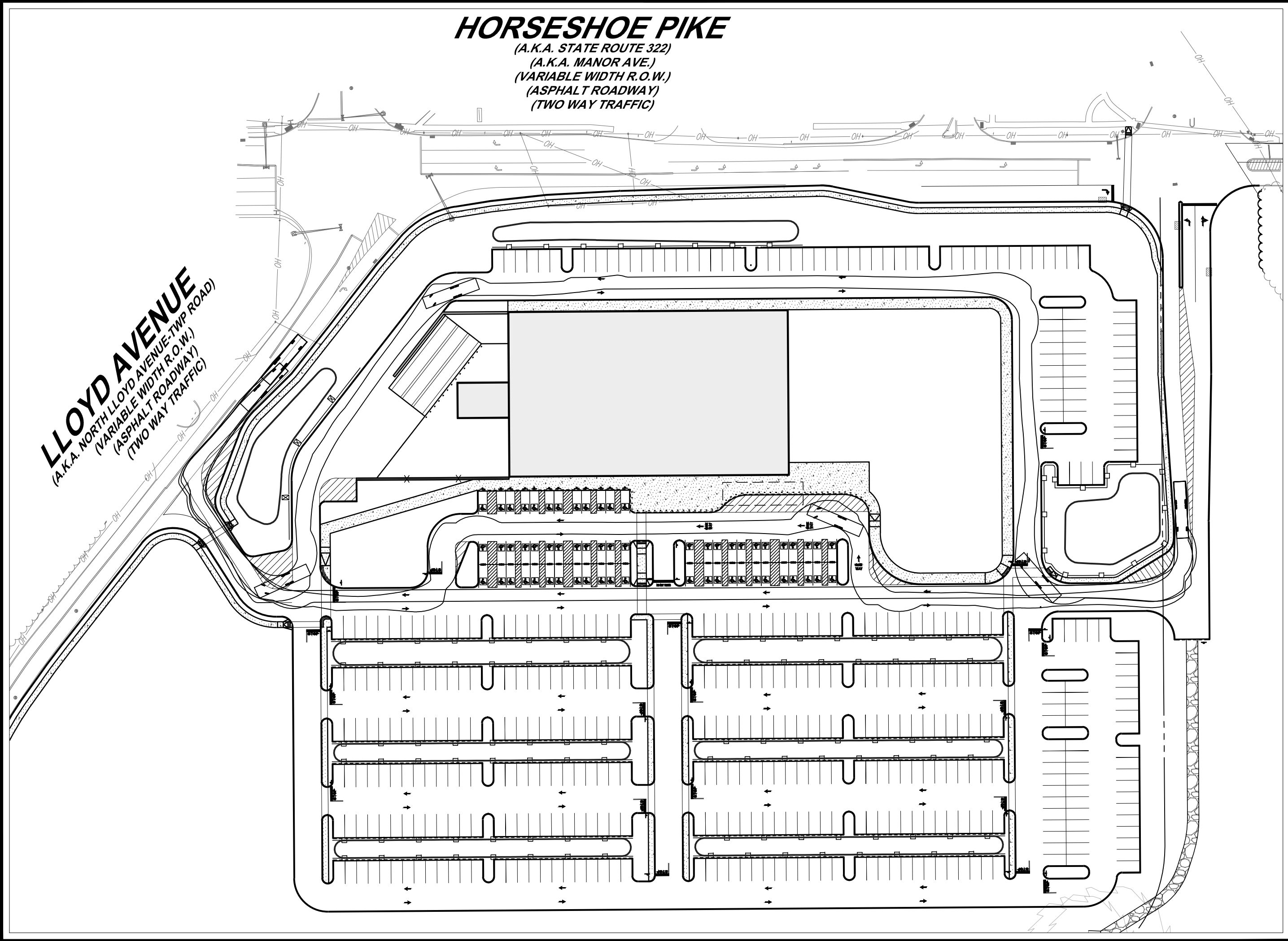
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**VEHICLE  
 CIRCULATION  
 PLAN**  
 SHEET NUMBER:  
**C-320**  
 ORG. DATE - 10/04/2024



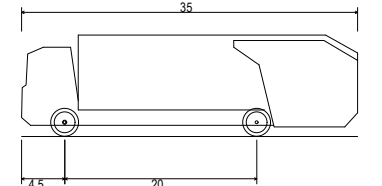
**TRASH TRUCK CIRCULATION PLAN**



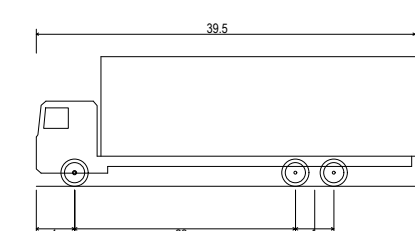
**DELIVERY CIRCULATION PLAN (SU-40)**



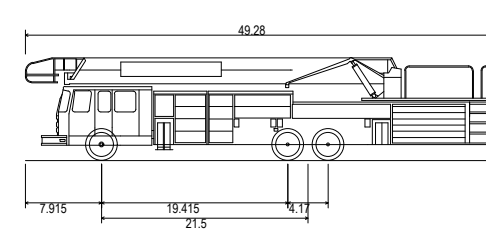
**FIRE TRUCK CIRCULATION PLAN**



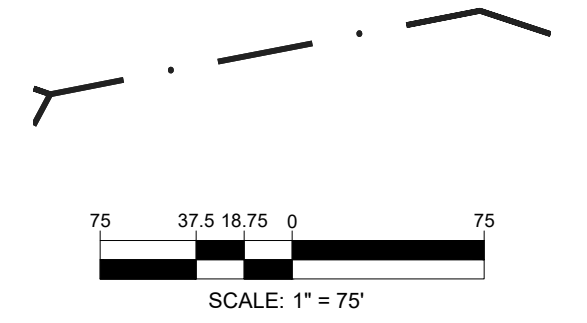
Rear-Load Garbage Truck  
 Overall Length 35.000ft  
 Overall Width 8.375ft  
 Overall Body Height 10.546ft  
 Min Body Ground Clearance 1.000ft  
 Track Width 8.375ft  
 Lock-to-lock time 6.00s  
 Curb to Curb Turning Radius 29.300ft



SU-40 - Single Unit Truck  
 Overall Length 39.500ft  
 Overall Width 8.000ft  
 Overall Body Height 13.250ft  
 Min Body Ground Clearance 2.367ft  
 Track Width 8.000ft  
 Lock-to-lock time 3.00s  
 Max Steering Angle (Virtual) 31.80°



PLYMOUTH TOWNSHIP FIRE TRUCK  
 Overall Length 49.280ft  
 Overall Width 10.250ft  
 Overall Body Height 10.627ft  
 Min Body Ground Clearance 1.127ft  
 Track Width 9.000ft  
 Lock-to-lock time 6.00s  
 Max Steering Angle (Virtual) 41.00°

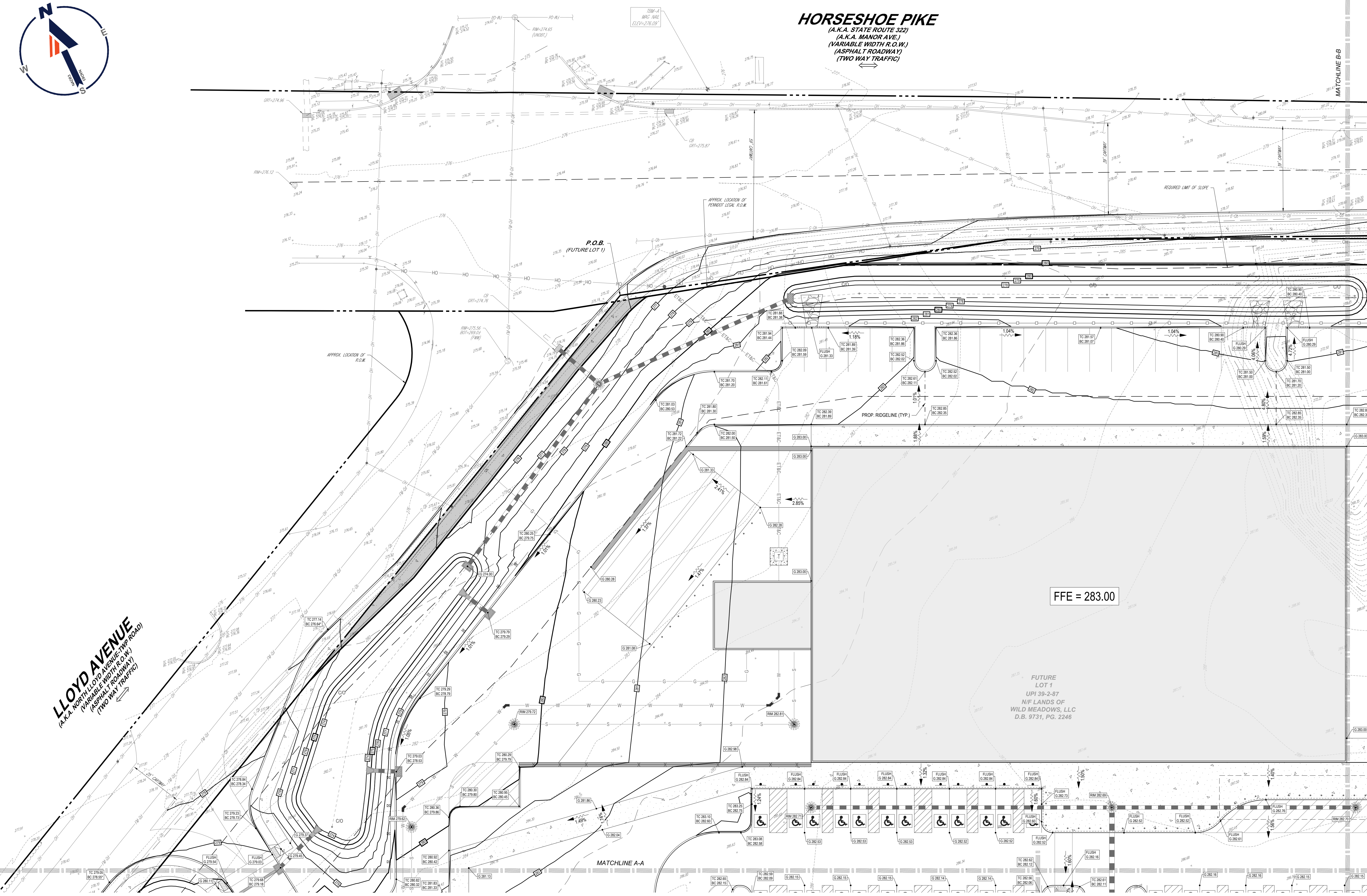






**HORSESHOE PIKE**  
 (A.K.A. STATE ROUTE 322)  
 (A.K.A. MANOR AVE.)  
 (VARIABLE WIDTH R.O.W.)  
 (ASPHALT ROADWAY)  
 (TWO WAY TRAFFIC)

**LLOYD AVENUE**  
 (A.K.A. NORTH LLOYD AVENUE (MP ROAD))  
 (VARIABLE WIDTH R.O.W.)  
 (ASPHALT ROADWAY)  
 (TWO WAY TRAFFIC)



**BOHLER**  
 SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
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 TRANSPORTATION SERVICES

**REVISIONS**

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 WWW.PH.CALLING.COM  
 #262373143

PROJECT No.: PAC220255-00-0B  
 DRAWN BY: SJA / AM  
 CHECKED BY: LB / SP  
 DATE: 10/04/2024  
 CAD ID: P-CIVL-GDUL

**PROJECT:**  
**SUBDIVISION I  
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 HEALTH, INC.**

PROPOSED MEDICAL CENTER  
 5030 HORSESHOE PIKE  
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 CHESTER COUNTY, PA  
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**BOHLER**  
 1515 MARKET STREET, SUITE 920  
 PHILADELPHIA, PA 19102  
 Phone: (267) 402-3400  
 Fax: (267) 402-3401  
 www.BohlerEngineering.com



**SHEET TITLE:**  
**GRADING  
 PLAN**

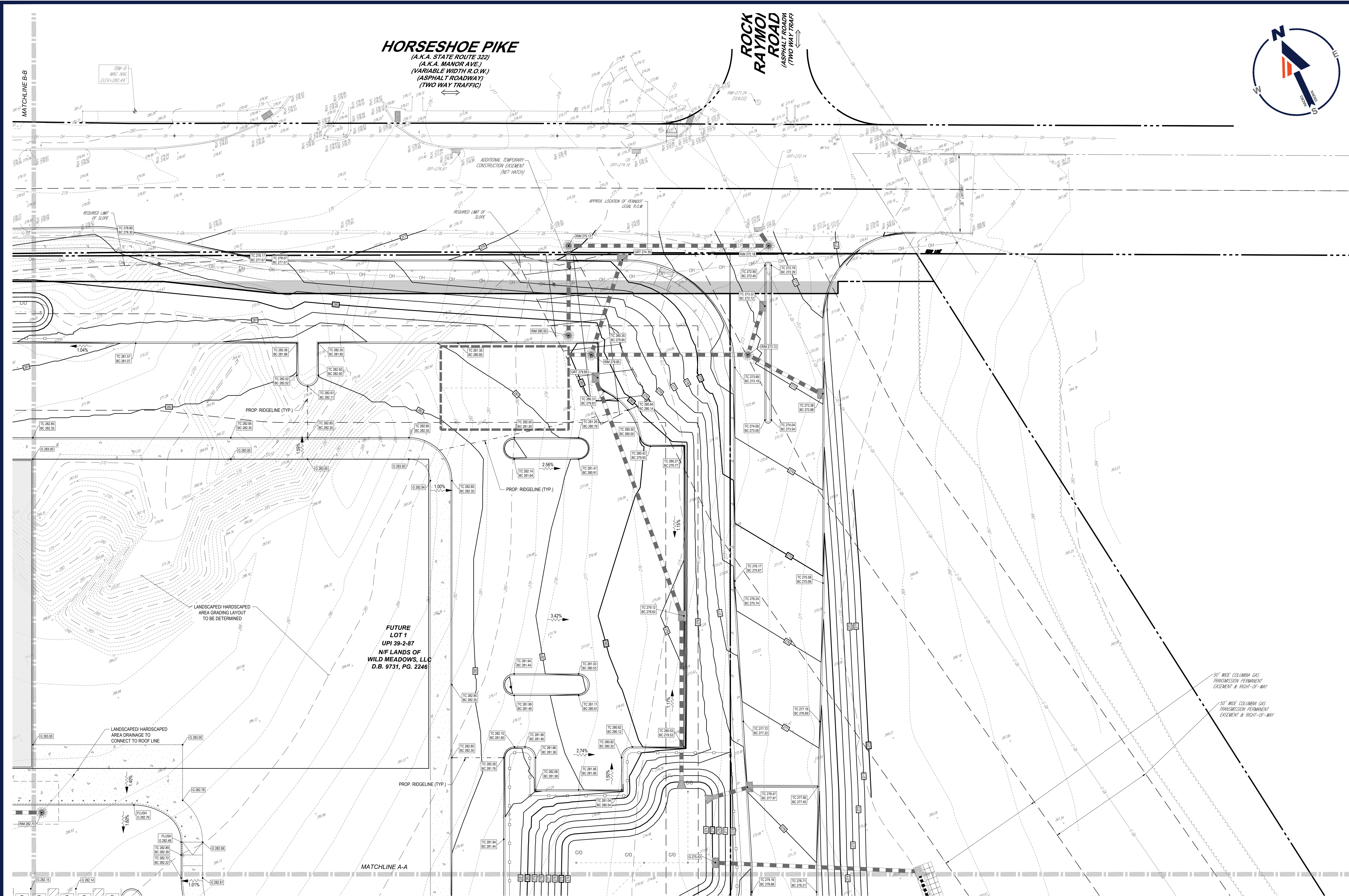
**SHEET NUMBER:**  
**C-402**

ORG. DATE - 10/04/2024

**THIS PLAN TO BE UTILIZED  
 FOR SITE GRADING  
 PURPOSES ONLY**







**BOHLER** //

SITE CIVIL AND CONSULTING ENGINEERING  
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WWW.PH.CALL.COM  
5622373343

PROJECT No.: PAC220255-00-0B  
DRAWN BY: SJA / AM  
CHECKED BY: LBJ / SP  
DATE: 10/04/2024  
CAD ID: P-CIVL-GDLU

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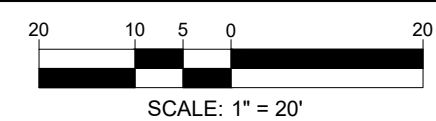
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PLAN**

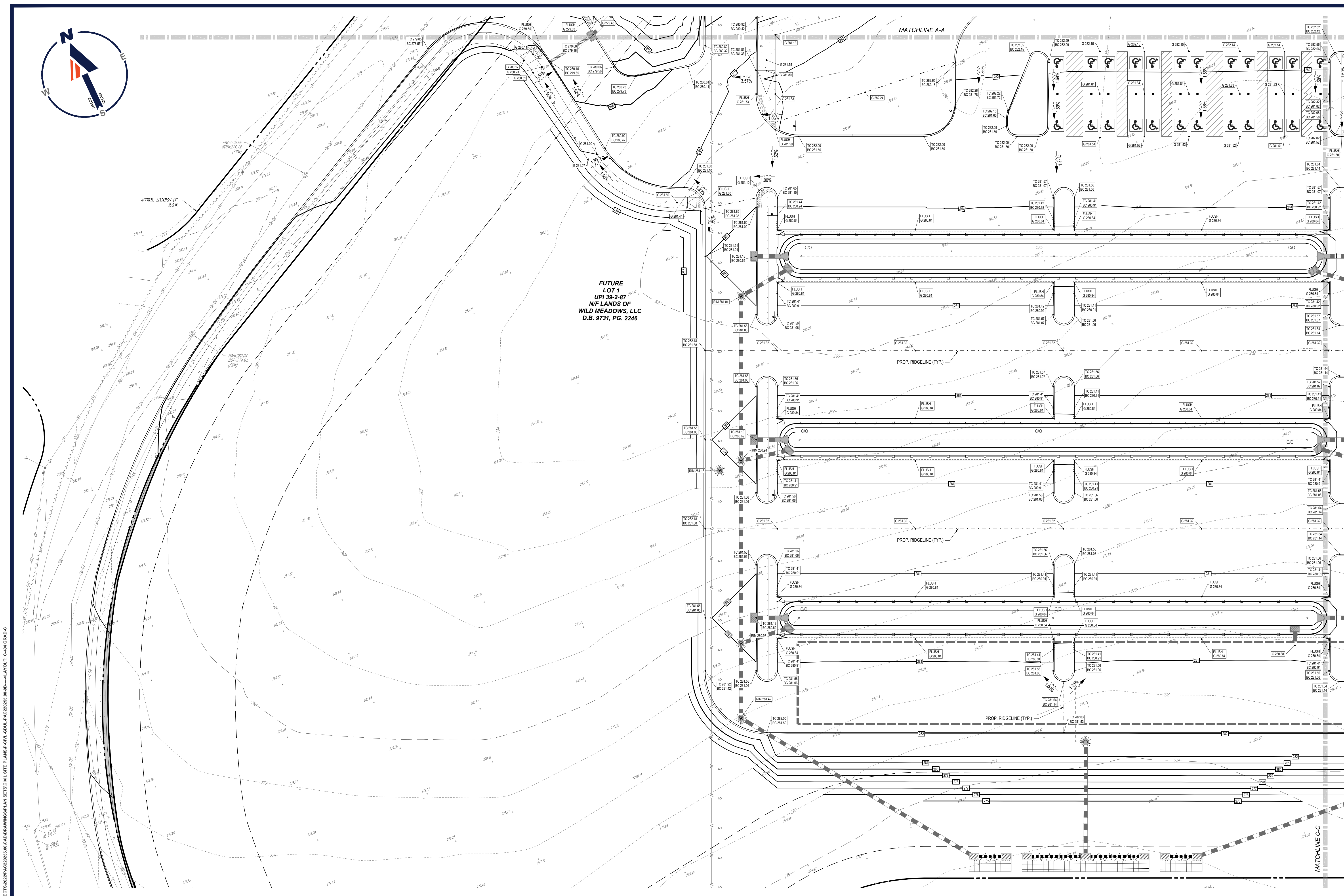
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**C-403**

ORG. DATE - 10/04/2024

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PURPOSES ONLY**

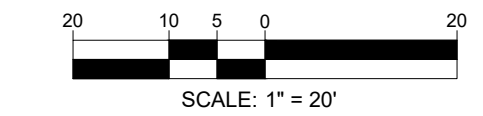


I:\BOHLER\NET\SHARES\PA\PROJECTS\2023\23-01-01\PACK\20230615\KIC\DRAWINGS\PLAN SETS\CIVIL SITE PLAN\BP-CIVL-GDLU-CIVL-GDLU-CIVL-GDLU-00-0B-1-1-J-LAYOUT-C-403-GRAD-B



FUTURE  
LOT 1  
UPI 39-2-87  
N/F LANDS OF  
WILD MEADOWS, LLC  
D.B. 9731, PG. 2246

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FOR SITE GRADING  
PURPOSES ONLY**



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SITE CIVIL AND CONSULTING ENGINEERING  
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TRANSPORTATION SERVICES

**REVISIONS**

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PROJECT No.: PAC220255-00-B  
DRAWN BY: SJA / AM  
CHECKED BY: LB / SP  
DATE: 10/04/2024  
CAD ID: P-CIVL-GDUL

**SUBDIVISION I  
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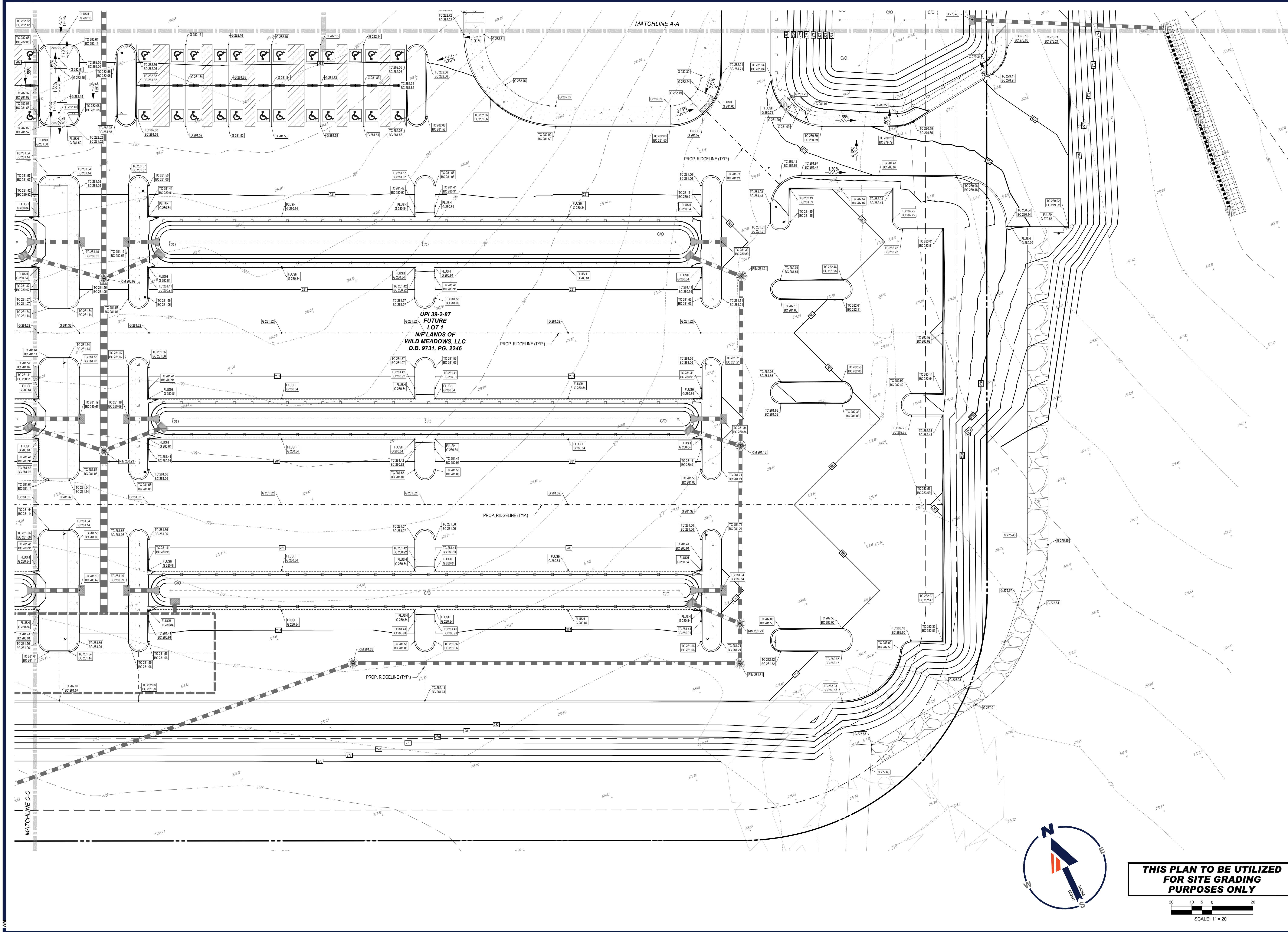
**BOHLER**  
1515 MARKET STREET, SUITE 920  
PHILADELPHIA, PA 19102  
Phone: (267) 402-3400  
Fax: (267) 402-3401  
[www.BohlerEngineering.com](http://www.BohlerEngineering.com)



SHEET TITLE:  
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PLAN**

SHEET NUMBER:  
**C-404**

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 800.537.3343

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**PROJECT:**  
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**PRELIMINARY LAND DEVELOPMENT PLANS**  
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 PROPOSED MEDICAL CENTER  
 5030 HORSESHOE PIKE  
 CALN TOWNSHIP  
 CHESTER COUNTY, PA  
 UPI 32-287  
 D.B. 9731, PG. 2246

**BOHLER**™  
 1515 MARKET STREET, SUITE 920  
 PHILADELPHIA, PA 19102  
 Phone: (267) 402-3400  
 Fax: (267) 402-3401  
 www.BohlerEngineering.com



SHEET TITLE:  
**GRADING PLAN**  
 SHEET NUMBER:  
**C-405**  
 ORG. DATE - 10/04/2024



# HORSESHOE PIKE

(A.K.A. STATE ROUTE 322)  
(A.K.A. MANOR AVE.)  
(VARIABLE WIDTH R.O.W.)  
(ASPHALT ROADWAY)  
(TWO WAY TRAFFIC)

# ROCK RAYMOND ROAD

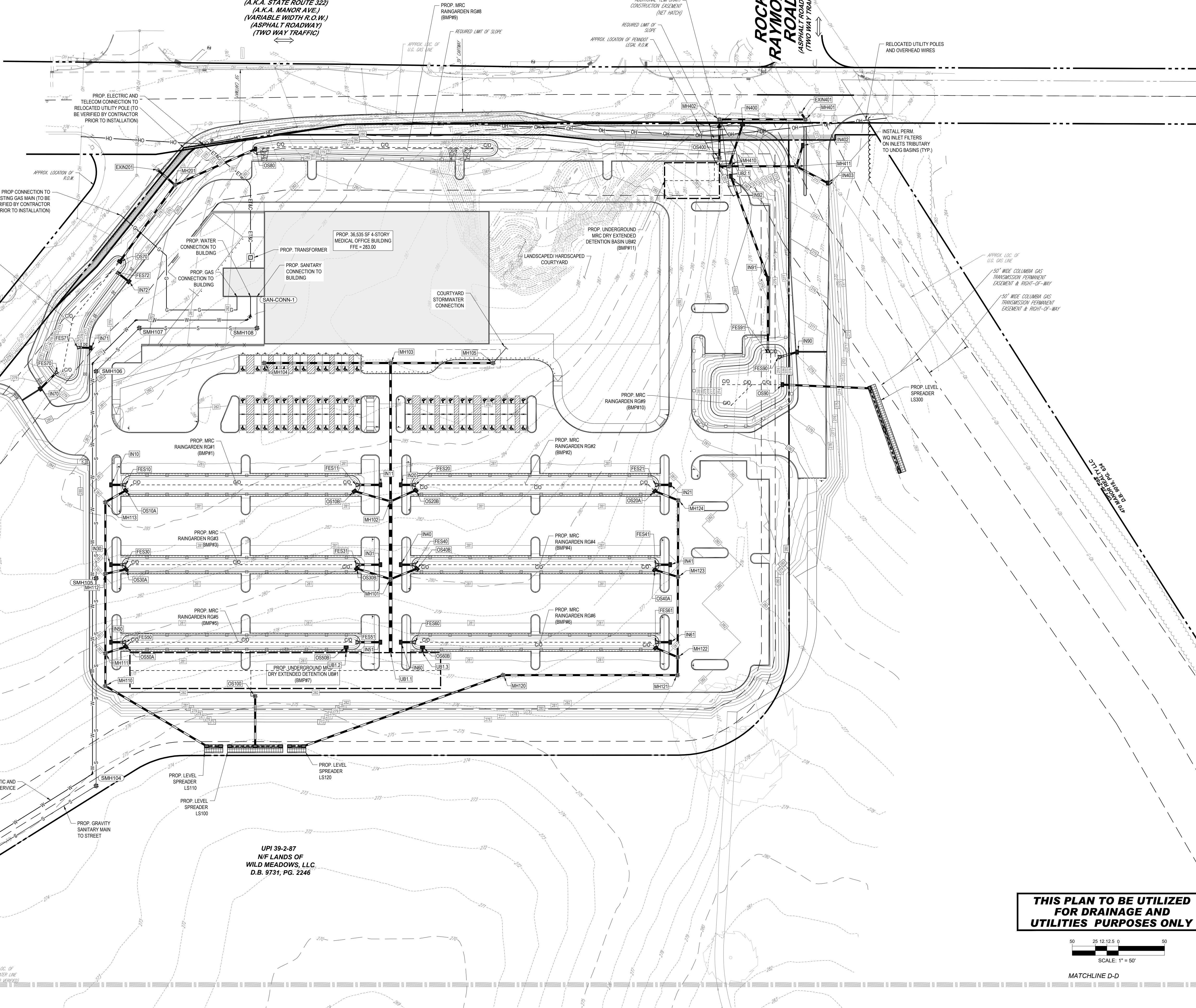
(ASPHALT ROADWAY)  
(TWO WAY TRAFFIC)

# LOYD AVENUE

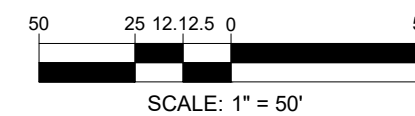
(A.K.A. NORTH LLOYD AVENUE (BMP ROAD))  
(VARIABLE WIDTH R.O.W.)  
(ASPHALT ROADWAY)  
(TWO WAY TRAFFIC)

UPI 39-2-87  
N/F LANDS OF  
WILD MEADOWS, LLC  
D.B. 9731, PG. 2246  
FUTURE  
LOT 1

UPI 39-2-87  
N/F LANDS OF  
WILD MEADOWS, LLC  
D.B. 9731, PG. 2246



**THIS PLAN TO BE UTILIZED FOR DRAINAGE AND UTILITIES PURPOSES ONLY**



SCALE: 1" = 50'

**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

**ATTENTION ALL CONTRACTORS:**  
LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 887 OF 2014 AS AMENDED BY ACT 50 OF 2017, CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK.  
WWW.PA.CALL.BUS  
#5029373143

PROJECT No.: PAC220255-00-B  
DRAWN BY: SJA / AM  
CHECKED BY: LB / SP  
DATE: 10/04/2024  
CAD ID: P-CIVIL-GDUL

PROJECT:  
**SUBDIVISION I  
PRELIMINARY LAND  
DEVELOPMENT  
PLANS**  
FOR  
**MAIN LINE  
HEALTH, INC.**  
PROPOSED MEDICAL CENTER  
CALN TOWNSHIP  
CHESTER COUNTY, PA  
UPI 32-2-87  
D.B. 9731, PG. 2246

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PHILADELPHIA, PA 19102  
Phone: (267) 402-3400  
Fax: (267) 402-3401  
www.BohlerEngineering.com



SHEET TITLE:  
**OVERALL  
UTILITY  
PLAN**  
SHEET NUMBER:  
**C-501**

ORG. DATE - 10/04/2024

I:\BOHLER\NET\SHARES\PA\PROJECTS\2024\PA\PROJECTS\2024\PA\CIVIL\DRAWINGS\PLAN SETS\CIVIL SITE PLAN\BMP-CIVIL-GDUL-PAC220255-00-08--JAY\OUT: C-501 UTIL-GDUL



**BOHLER**  
 SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

**REVISIONS**

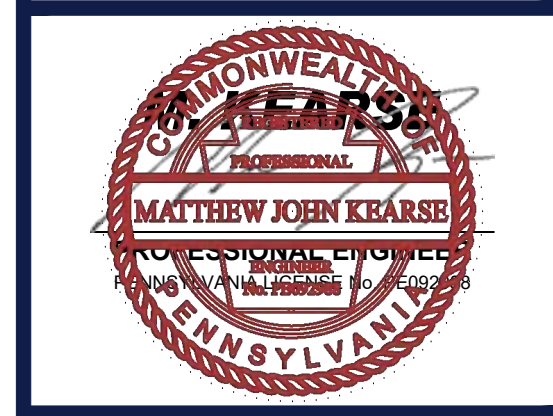
REV	DATE	COMMENT	DRAWN BY	CHECKED BY

ATTENTION ALL CONTRACTORS:  
 LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 87 OF 2014 AS AMENDED BY ACT 50 OF 2017, CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK.  
 WWW.PH.CALLING.COM  
 #6262373143

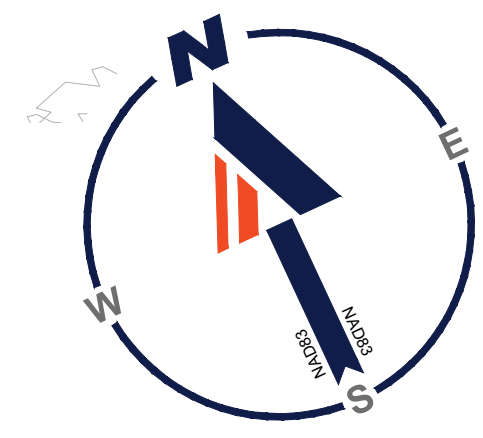
PROJECT No.: PAC220255-00-0B  
 DRAWN BY: SJA / AM  
 CHECKED BY: LB / SP  
 DATE: 10/04/2024  
 CAD ID: P-CIVIL-GDUIL

PROJECT:  
**SUBDIVISION I  
 PRELIMINARY LAND  
 DEVELOPMENT  
 PLANS**  
 FOR  
**MAIN LINE  
 HEALTH, INC.**  
 PROPOSED MEDICAL CENTER  
 5030 HORSESHOE PIKE  
 CALN TOWNSHIP  
 CHESTER COUNTY, PA  
 UPI 32-2-87  
 D.B. 9731, PG. 2246

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 Fax: (267) 402-3401  
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SHEET TITLE:  
**OVERALL  
 UTILITY  
 PLAN**  
 SHEET NUMBER:  
**C-502**  
 ORG. DATE - 10/04/2024



**THIS PLAN TO BE UTILIZED  
 FOR DRAINAGE AND  
 UTILITIES PURPOSES ONLY**

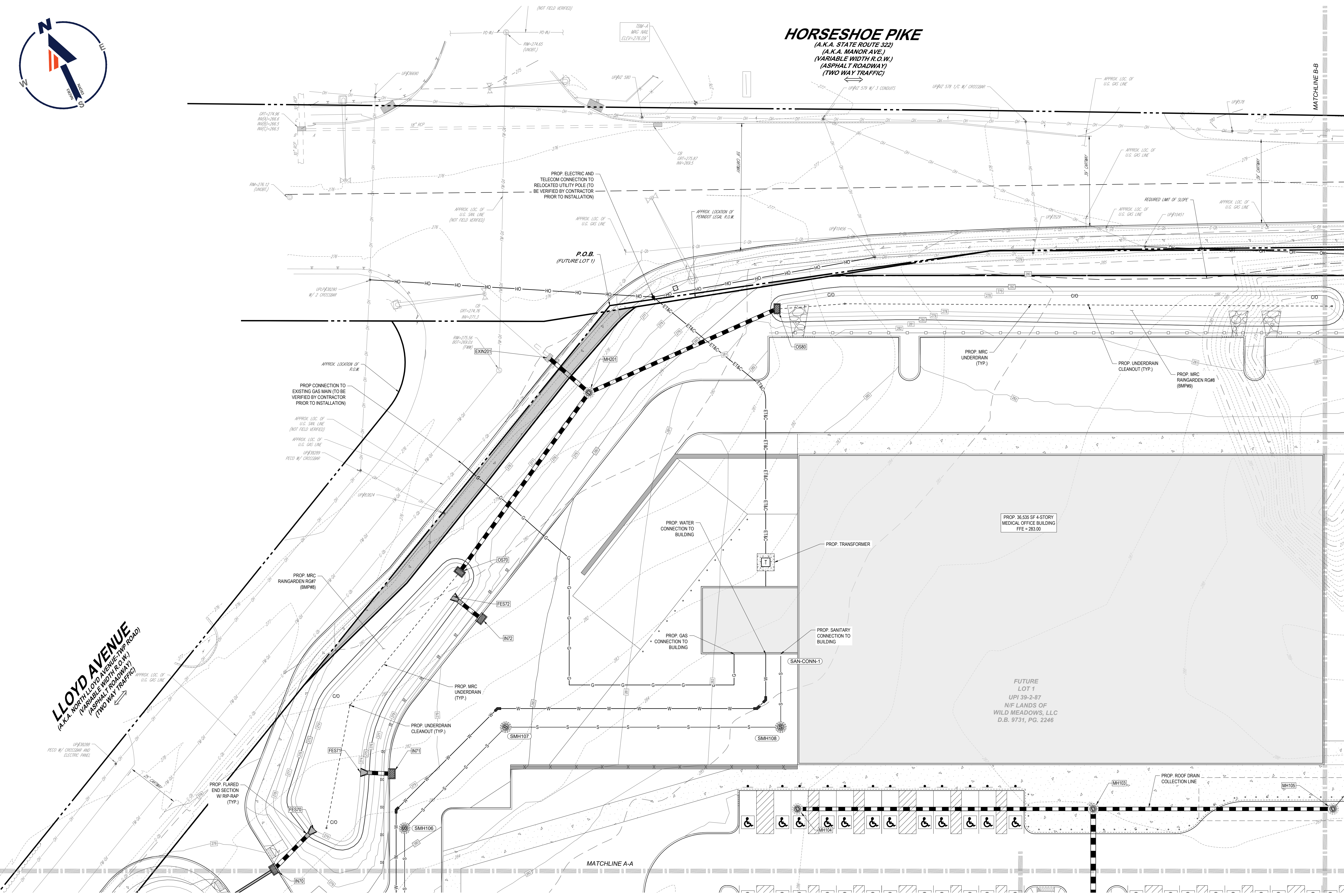
50 25 12.5 0 50  
 SCALE: 1" = 50'

I:\BOHLER\NET\SHARES\PA\PROJECTS\2022\220255\KVIC\DRAWINGS\PLAN SETS\CIVIL SITE PLAN\BP-CIVIL-GDUIL-PAC220255-00-0B-JAY\OUT-C-502 UTIL-GDUIL



**HORSESHOE PIKE**  
 (A.K.A. STATE ROUTE 322)  
 (A.K.A. MANOR AVE.)  
 (VARIABLE WIDTH R.O.W.)  
 (ASPHALT ROADWAY)  
 (TWO WAY TRAFFIC)

**LLOYD AVENUE**  
 (A.K.A. NORTH LLOYD AVENUE (MP ROAD))  
 (VARIABLE WIDTH R.O.W.)  
 (ASPHALT ROADWAY)  
 (TWO WAY TRAFFIC)



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 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

ATTENTION ALL CONTRACTORS: LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 887 OF 2014 AS AMENDED BY ACT 50 OF 2017, CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK.  
 WWW.PHILADELPHIA.PA  
 800.237.3143

PROJECT No.: PAC220255-00-0B  
 DRAWN BY: SJA / AM  
 CHECKED BY: LB / SP  
 DATE: 10/04/2024  
 CAD ID: P-CIVL-GDUL

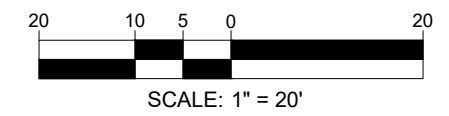
PROJECT:  
**SUBDIVISION I  
 PRELIMINARY LAND  
 DEVELOPMENT  
 PLANS**  
 FOR  
**MAIN LINE  
 HEALTH, INC.**  
 PROPOSED MEDICAL CENTER  
 5030 HORSESHOE PIKE  
 CALN TOWNSHIP  
 CHESTER COUNTY, PA  
 UPI 32-2-87  
 D.B. 9731, PG. 2246

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 www.BohlerEngineering.com

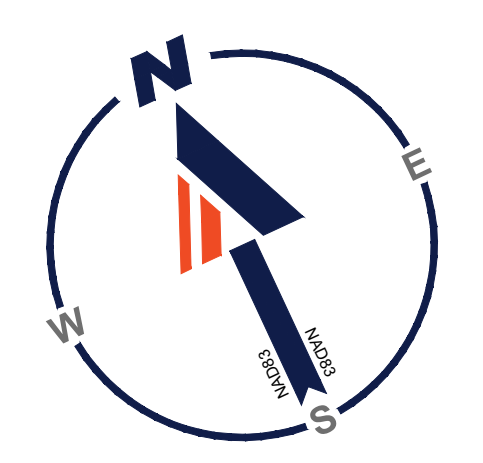
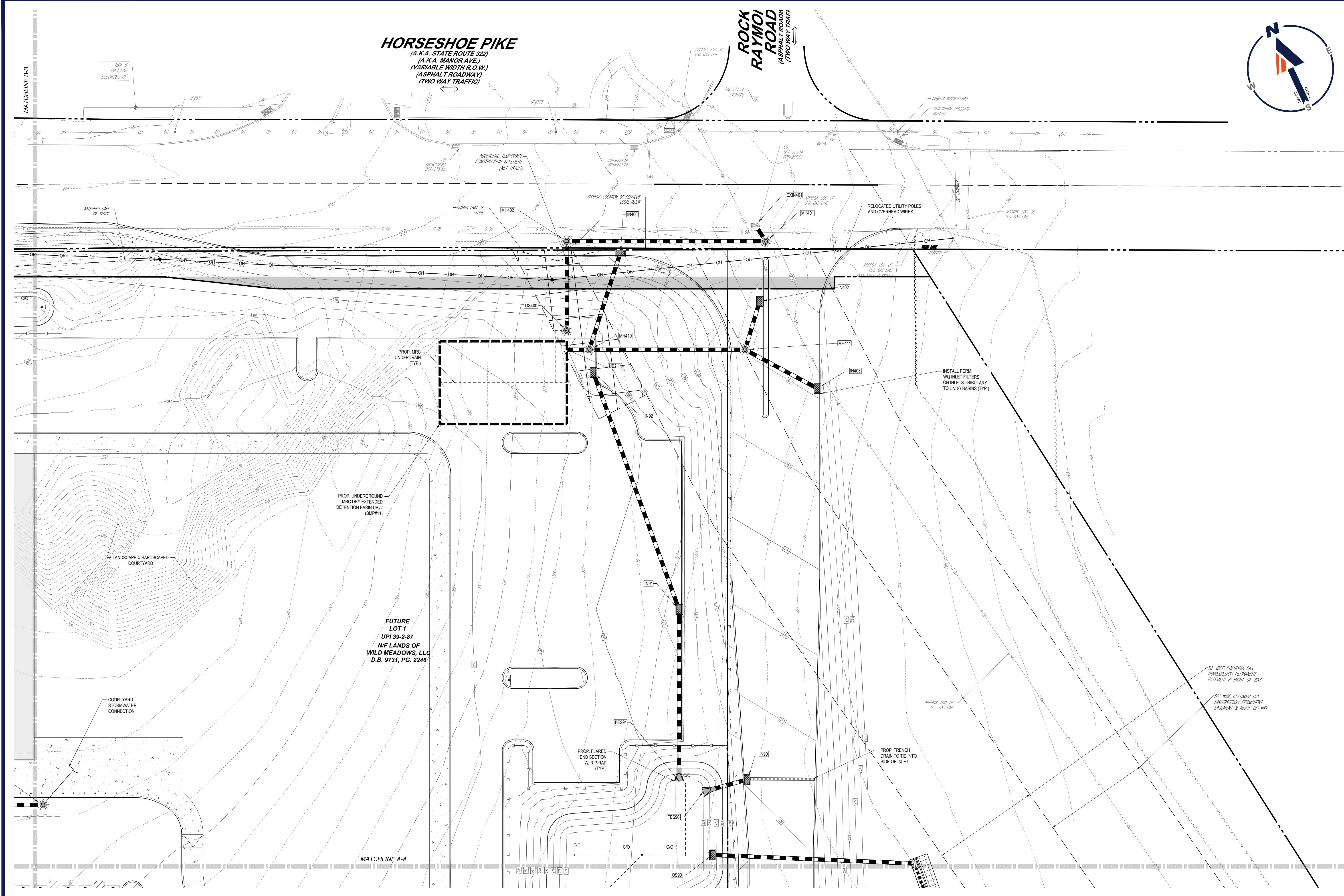


SHEET TITLE:  
**UTILITY  
 PLAN**  
 SHEET NUMBER:  
**C-503**  
 ORG. DATE - 10/04/2024

**THIS PLAN TO BE UTILIZED  
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 UTILITIES PURPOSES ONLY**



I:\BOHLER\NET\SHARES\PA\PROJECTS\2024\2024-PAC220255-MRC\DRAWINGS\PLAN SETS\CIVIL SITE PLAN\BP-CIVL-GDUL-PAC220255-00-0B--JAY\OUT: C-503 UTIL-A



REVISIONS			
REV	DATE	COMMENT	DRAWN BY

ATTENTION ALL CONTRACTORS:  
 LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 897 OF 2014 AS AMENDED BY ACT 50 OF 2017, CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK.  
 WWW.PA.CALL.ONE  
 800.937.3343

PROJECT No.: PAC220255-00-0B  
 DRAWN BY: SJA / AM  
 CHECKED BY: LB / SP  
 DATE: 10/04/2024  
 CAD ID: P-CIVL-GDUL

PROJECT:  
**SUBDIVISION I  
 PRELIMINARY LAND  
 DEVELOPMENT  
 PLANS**  
 FOR  
**MAIN LINE  
 HEALTH, INC.**  
 PROPOSED MEDICAL CENTER  
 5030 HORSESHOE PIKE  
 CALN TOWNSHIP  
 CHESTER COUNTY, PA  
 UPI 32-2-87  
 D.B. 9731, PG. 2246

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 PHILADELPHIA, PA 19102  
 Phone: (267) 402-3400  
 Fax: (267) 402-3401  
 www.BohlerEngineering.com

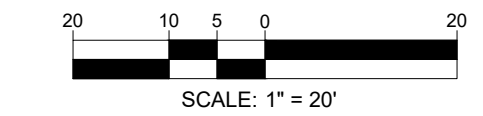


SHEET TITLE:  
**UTILITY  
 PLAN**

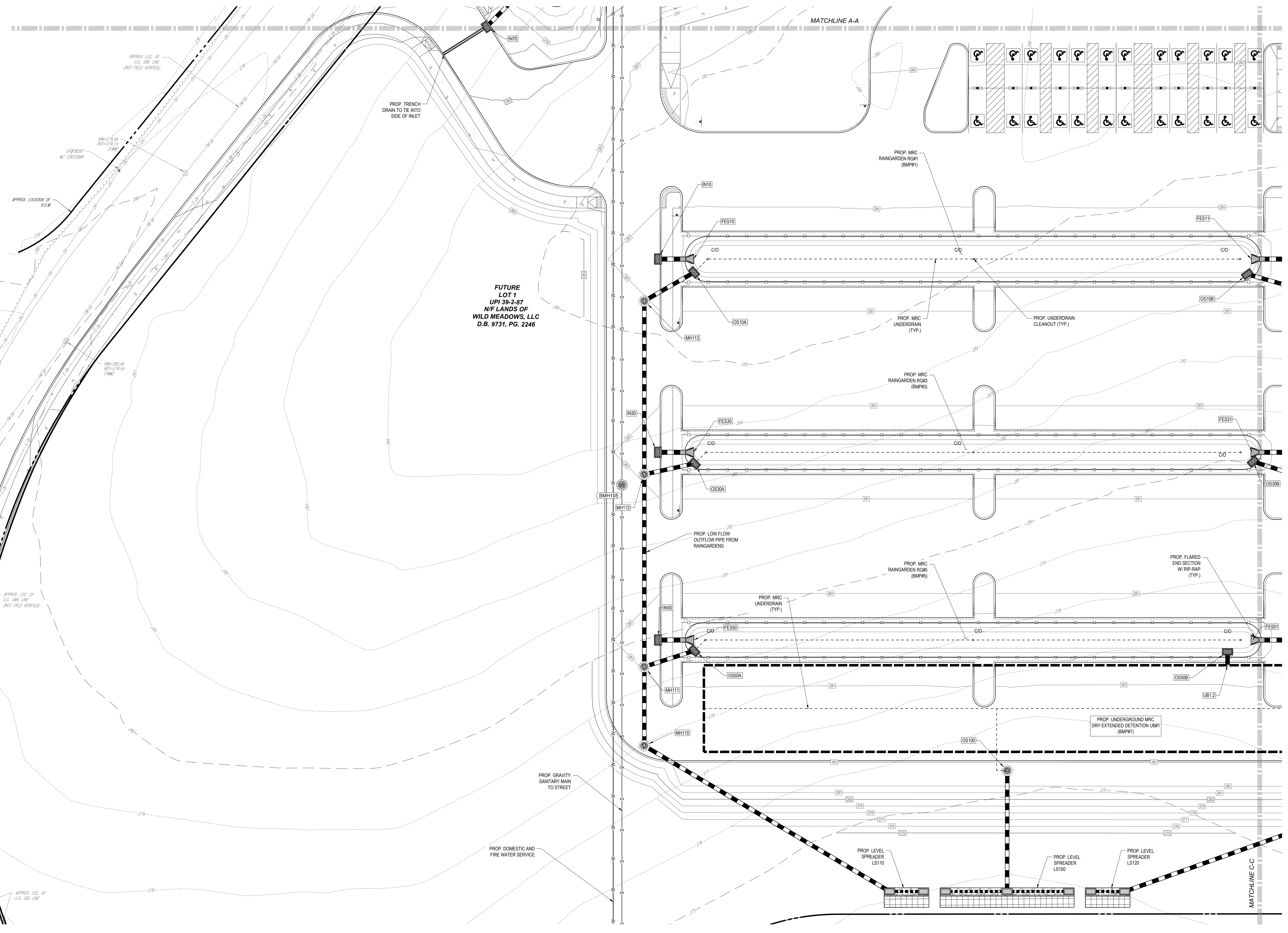
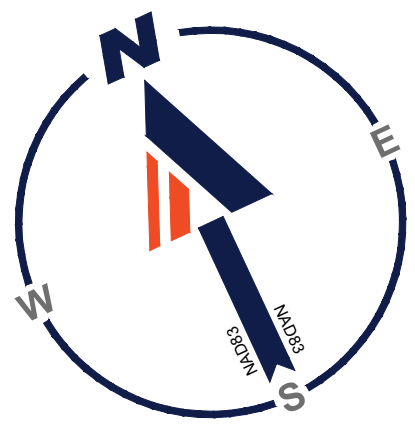
SHEET NUMBER:  
**C-504**

ORG. DATE - 10/04/2024

**THIS PLAN TO BE UTILIZED  
 FOR DRAINAGE AND  
 UTILITIES PURPOSES ONLY**

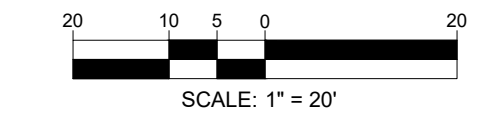


\\BOHLER\NET\SHARES\PA\PROJECTS\2024\2024-PAC220255-MVIC\DRAWINGS\PLAN SETS\CIVIL SITE PLAN\BP-CIVL-GDUL-PAC220255-00-0B-1-JAYOUT-C-504 UTIL-B



FUTURE  
LOT 1  
UPI 38-2-87  
N/F LANDS OF  
WILD MEADOWS, LLC  
D.B. 9731, PG. 2246

**THIS PLAN TO BE UTILIZED  
FOR DRAINAGE AND  
UTILITIES PURPOSES ONLY**



**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

**ATTENTION ALL CONTRACTORS:**  
LOCATIONS OF ALL EXISTING  
UTILITIES SHOWN HEREON HAVE  
BEEN DEVELOPED FROM UTILITY  
COMPANY RECORDS AND/OR  
ADVANCE-GROUND INSPECTION OF THE  
SITE. COMPLETENESS OR  
ACCURACY OF TYPE, SIZE, DEPTH  
OR HORIZONTAL LOCATION OF  
UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE  
GUARANTEED. PURSUANT TO REQUIREMENTS OF  
PENNSYLVANIA LEGISLATIVE ACT NUMBER 887 OF 2014 AS  
AMENDED BY ACT 50 OF 2017, CONTRACTORS MUST VERIFY  
LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND  
FACILITIES PRIOR TO START OF WORK.  
WWW.PH.CALLING  
610.297.3343

PROJECT No.: PAC220255-00-0B  
DRAWN BY: SJA / AM  
CHECKED BY: LB / SP  
DATE: 10/04/2024  
CAD ID: P-CIVL-GDUL

PROJECT:  
**SUBDIVISION I  
PRELIMINARY LAND  
DEVELOPMENT  
PLANS**  
FOR  
**MAIN LINE  
HEALTH, INC.**  
PROPOSED MEDICAL CENTER  
5030 HORSESHOE PIKE  
CALN TOWNSHIP  
CHESTER COUNTY, PA  
UPI 32-2-87  
D.B. 9731, PG. 2246

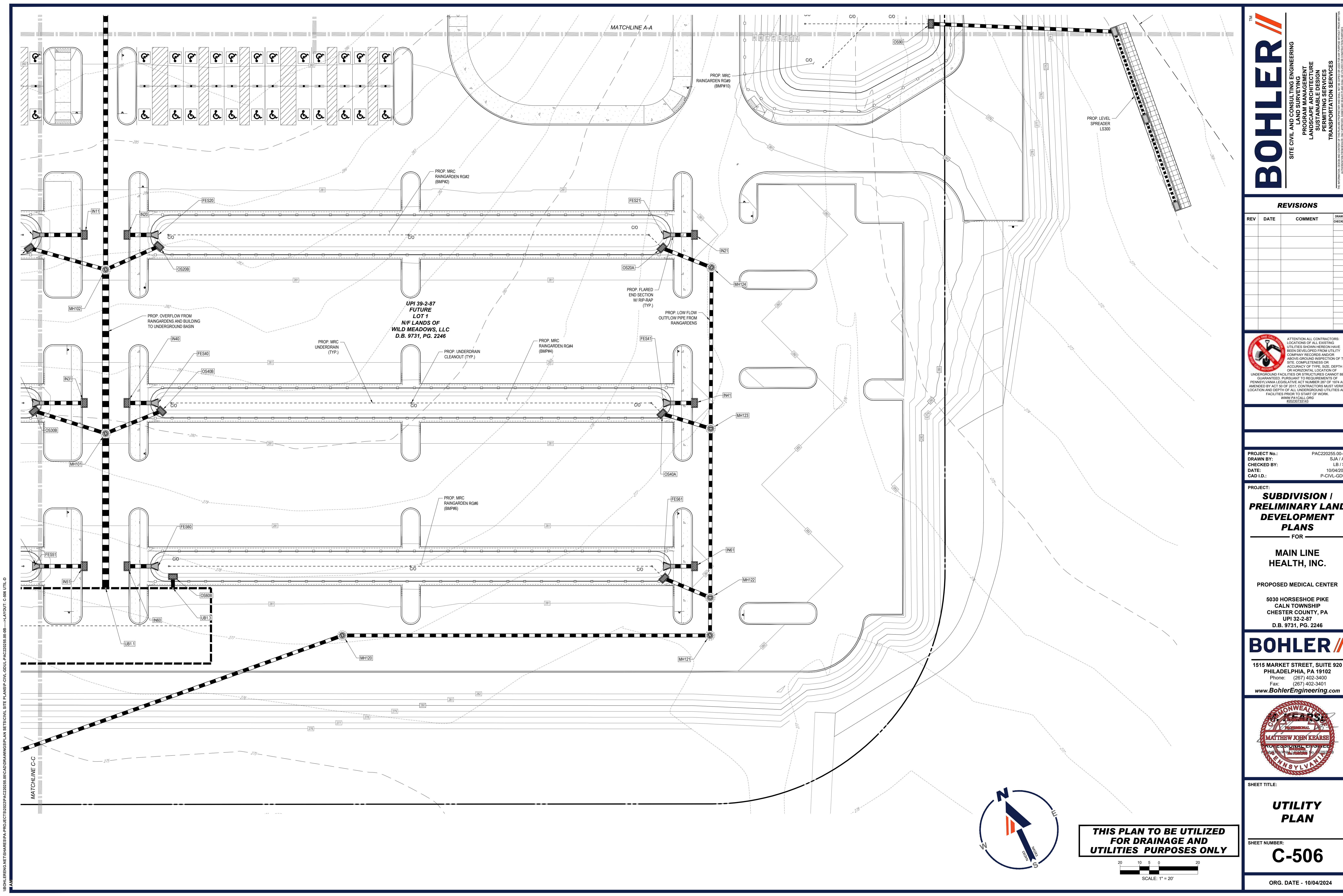
**BOHLER**  
1515 MARKET STREET, SUITE 920  
PHILADELPHIA, PA 19102  
Phone: (267) 402-3400  
Fax: (267) 402-3401  
www.BohlerEngineering.com



SHEET TITLE:  
**UTILITY  
PLAN**  
SHEET NUMBER:  
**C-505**  
ORG. DATE - 10/04/2024

I:\BOHLER\NET\SHARES\PA\PROJECTS\2022\220255\KVIC\DRAWINGS\PLAN SETS\CIVIL SITE PLAN\BP-CIVL-GDUL-PAC220255-00-0B-JAYOUT-C-505 UTIL-C





I:\BOHLER\NET\SHARES\PA\PROJECT\32222\AC222225\KVIC\DRAWINGS\PLAN SETS\CIVIL SITE PLAN\BIP-CIVL-GDUL-PA222255-00-0B--J-LAYOUT: C-506 UTIL-0



**THIS PLAN TO BE UTILIZED  
FOR DRAINAGE AND  
UTILITIES PURPOSES ONLY**

SCALE: 1" = 20'

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 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

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 LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 887 OF 2014 AS AMENDED BY ACT 50 OF 2017, CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK.  
 WWW.PA.CALL.CMS  
 8002973343

PROJECT No.: PAC220255-00-0B  
 DRAWN BY: SJA / AM  
 CHECKED BY: LB / SP  
 DATE: 10/04/2024  
 CAD ID: P-CIVL-GDUL

**PROJECT:**  
**SUBDIVISION I  
 PRELIMINARY LAND  
 DEVELOPMENT  
 PLANS**  
 FOR  
**MAIN LINE  
 HEALTH, INC.**  
 PROPOSED MEDICAL CENTER  
 5030 HORSESHOE PIKE  
 CALN TOWNSHIP  
 CHESTER COUNTY, PA  
 UPI 32-2-87  
 D.B. 9731, PG. 2246

**BOHLER** //

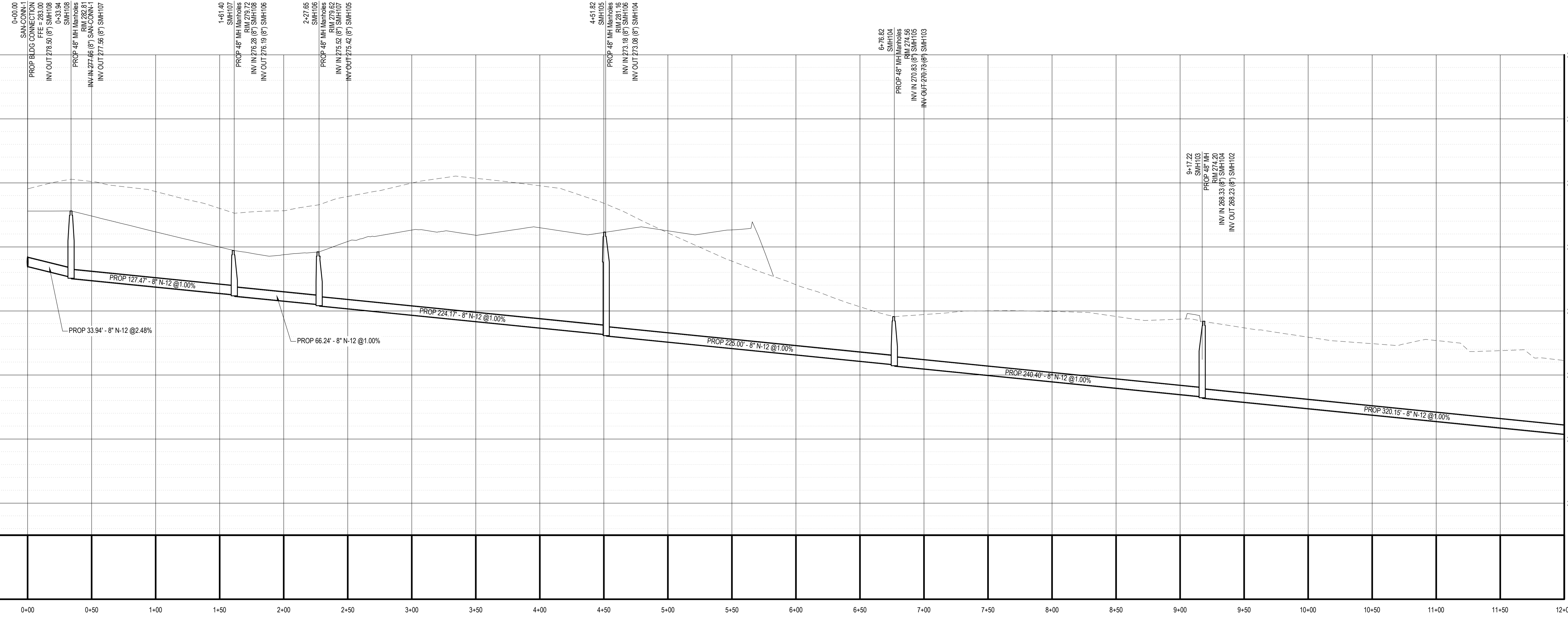
1515 MARKET STREET, SUITE 920  
 PHILADELPHIA, PA 19102  
 Phone: (267) 402-3400  
 Fax: (267) 402-3401  
 www.BohlerEngineering.com



SHEET TITLE:  
**UTILITY  
 PLAN**

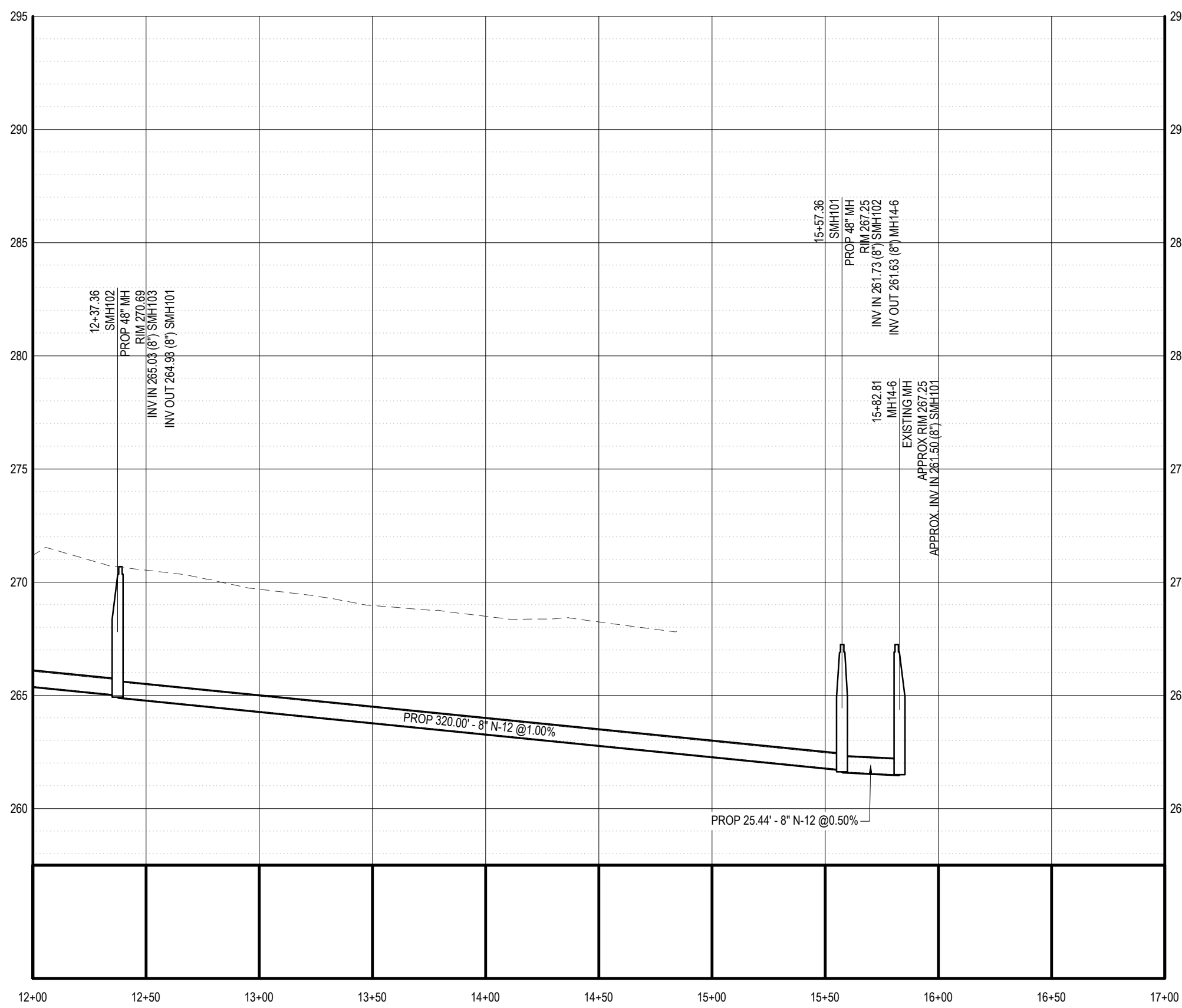
SHEET NUMBER:  
**C-506**

ORG. DATE - 10/04/2024



PROPOSED SANITARY PROFILE (BUILDING CONNECTION TO SMH102)

SCALE: 1"= 50' HORIZONTAL  
1"= 5' VERTICAL



PROPOSED SANITARY PROFILE (SMH102-EXISTING MANHOLE)

SCALE: 1"= 50' HORIZONTAL  
1"= 5' VERTICAL



LEGEND	
EXISTING GRADE	
PROPOSED GRADE	
HYDRAULIC GRADE LINE	
COMPACTED FILL	

**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

REVISIONS

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WWW.PHILCALL.ORG  
#BOHLERXXXXXX

PROJECT No.: PAC220255-00-0B  
DRAWN BY: SJA / AM  
CHECKED BY: LB / SP  
DATE: 10/04/2024  
CAD ID.: P-CIVL-PROF

PROJECT:  
**SUBDIVISION / PRELIMINARY LAND DEVELOPMENT PLANS**  
FOR  
**MAIN LINE HEALTH, INC.**  
PROPOSED MEDICAL CENTER  
5030 HORSESHOE PIKE  
CALN TOWNSHIP  
CHESTER COUNTY, PA  
UPI 32-2-87  
D.B. 9731, PG. 2246

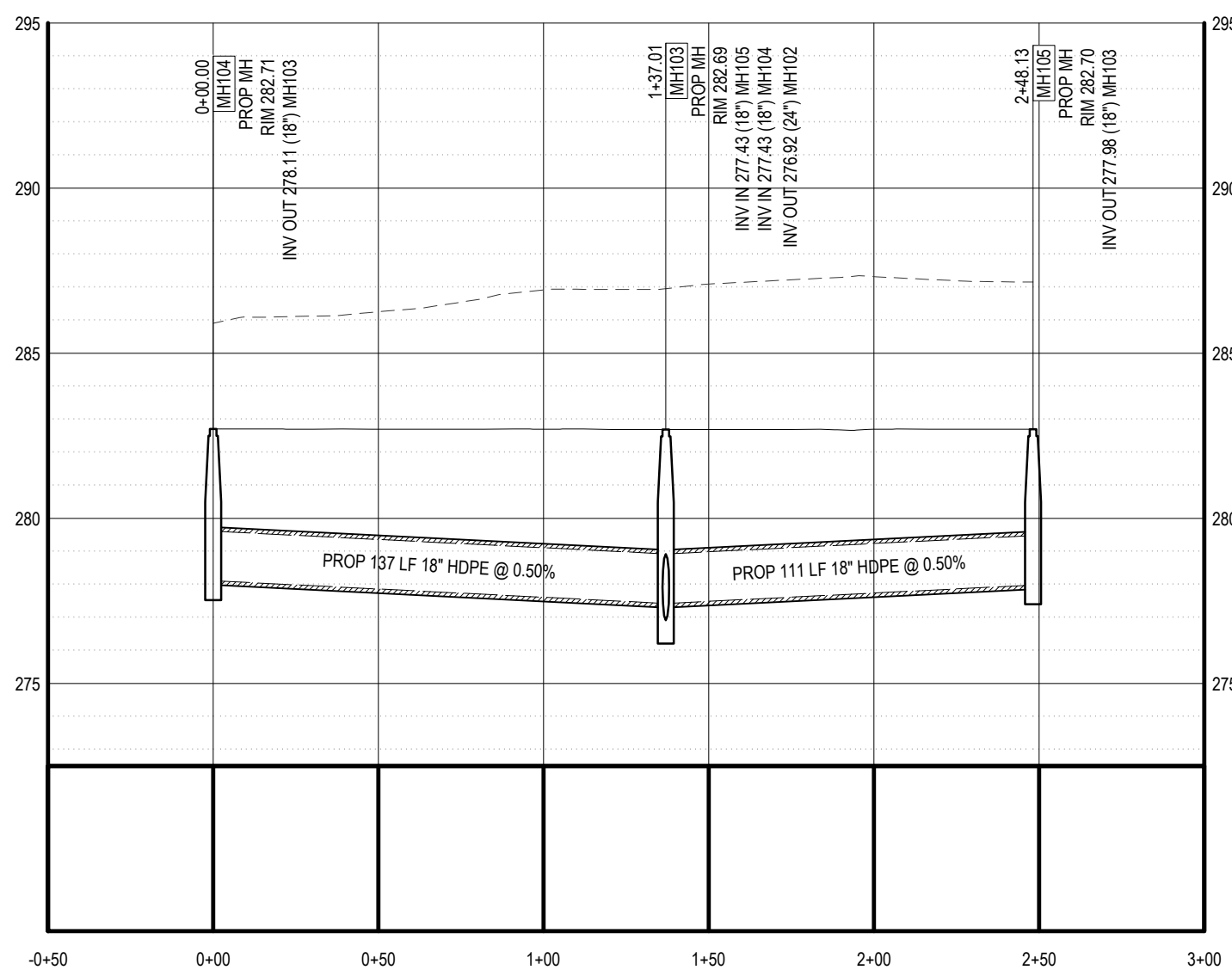
**BOHLER**  
1515 MARKET STREET, SUITE 920  
PHILADELPHIA, PA 19102  
Phone: (267) 402-3400  
Fax: (267) 402-3401  
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SHEET TITLE:  
**SANITARY PROFILES**  
SHEET NUMBER:  
**C-601**  
ORG. DATE - 10/04/2024

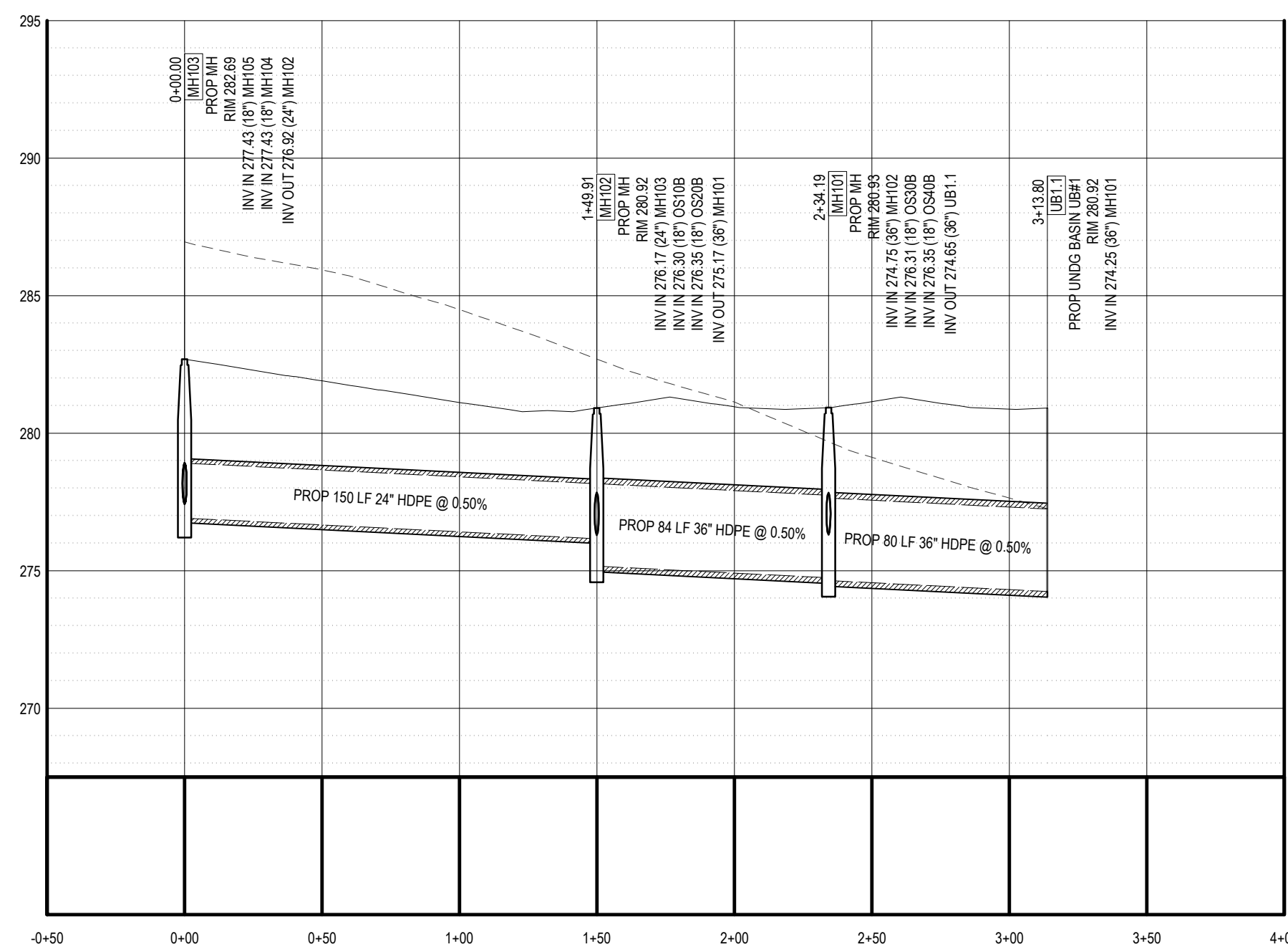
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BOHLER ENGINEERING & CONSULTING ENGINEERS SITE PLAN/PROF-CIVIL-PROF-PAC220255-00-08-JAY/OUT: C-602.PST



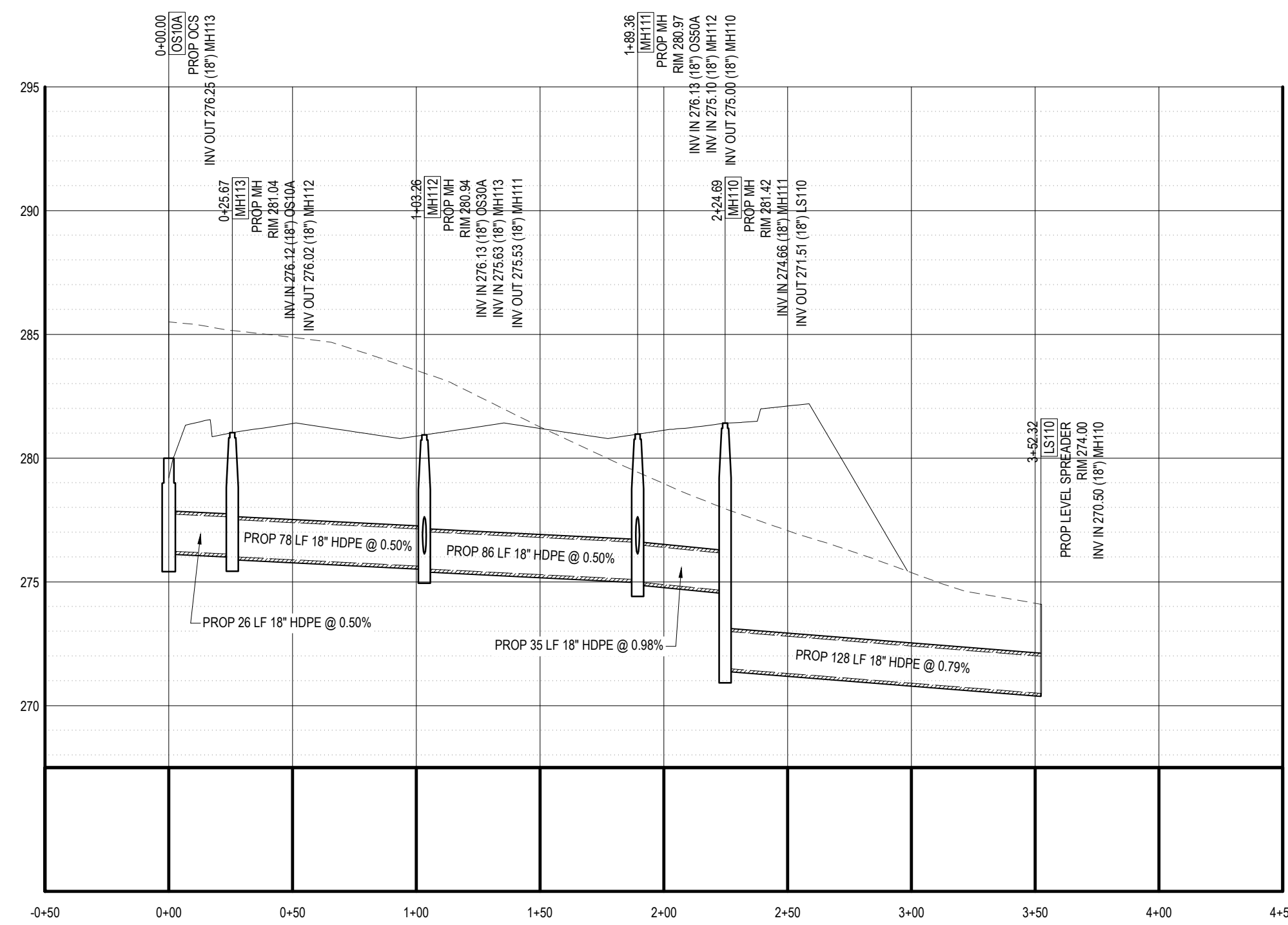
**ROOF DRAIN LINE**

SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL



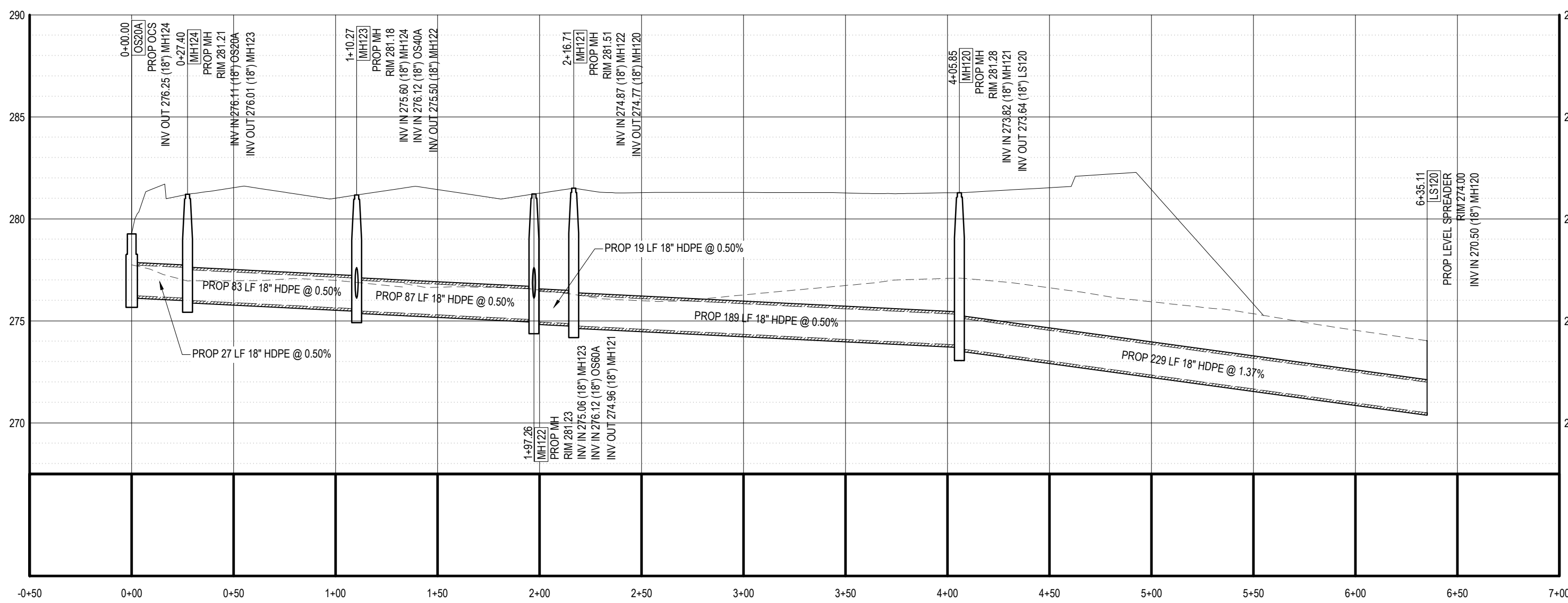
**MH103-UB#1**

SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL



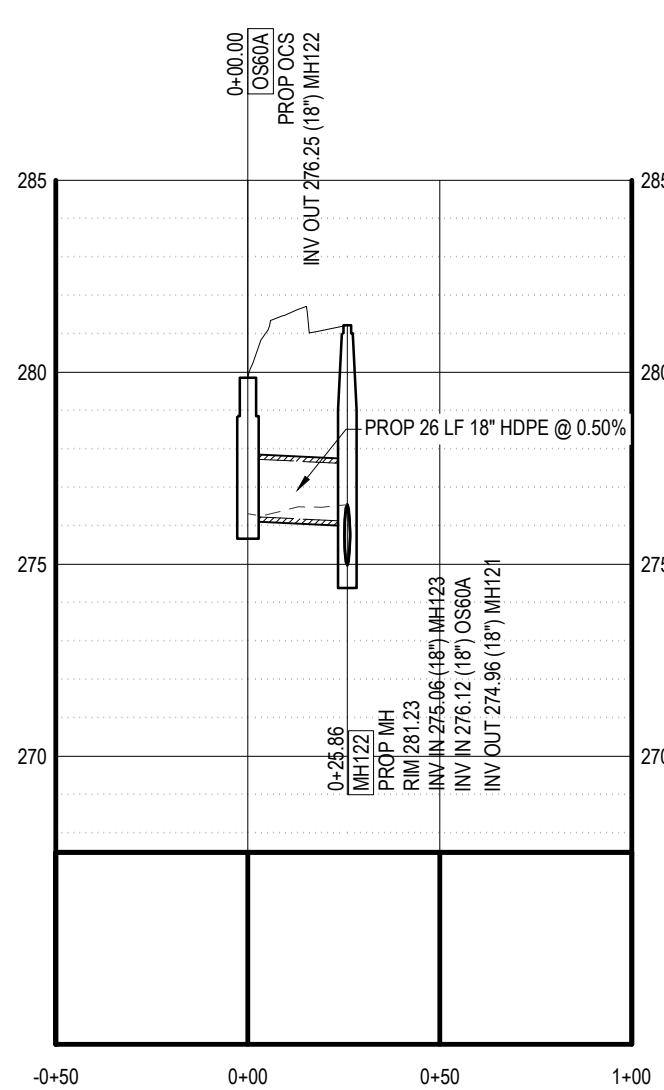
**OS10A-LS110**

SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL



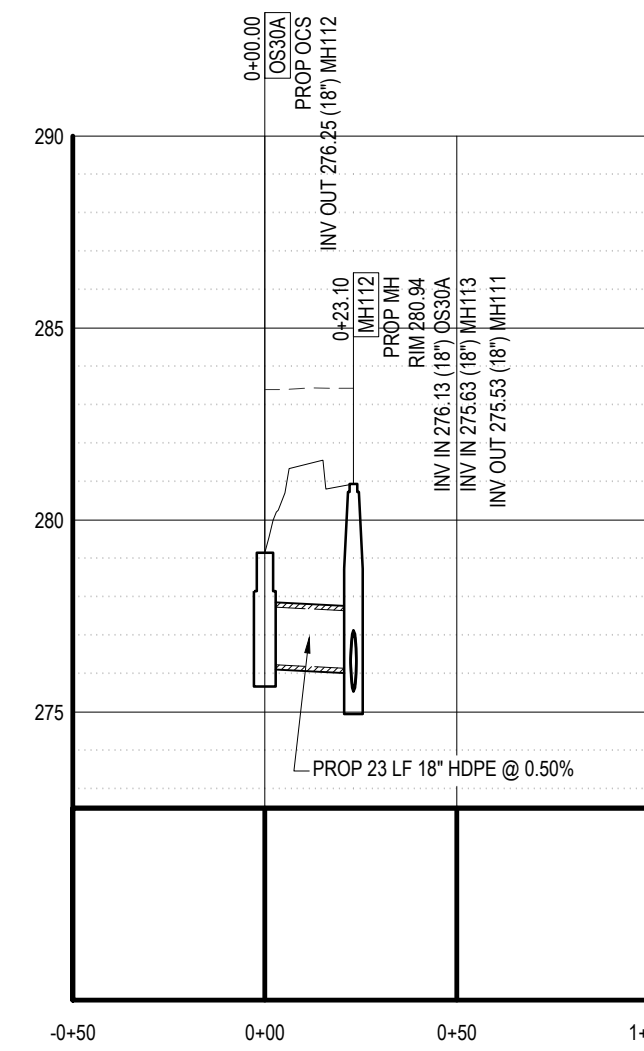
**OS20A-LS120**

SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL



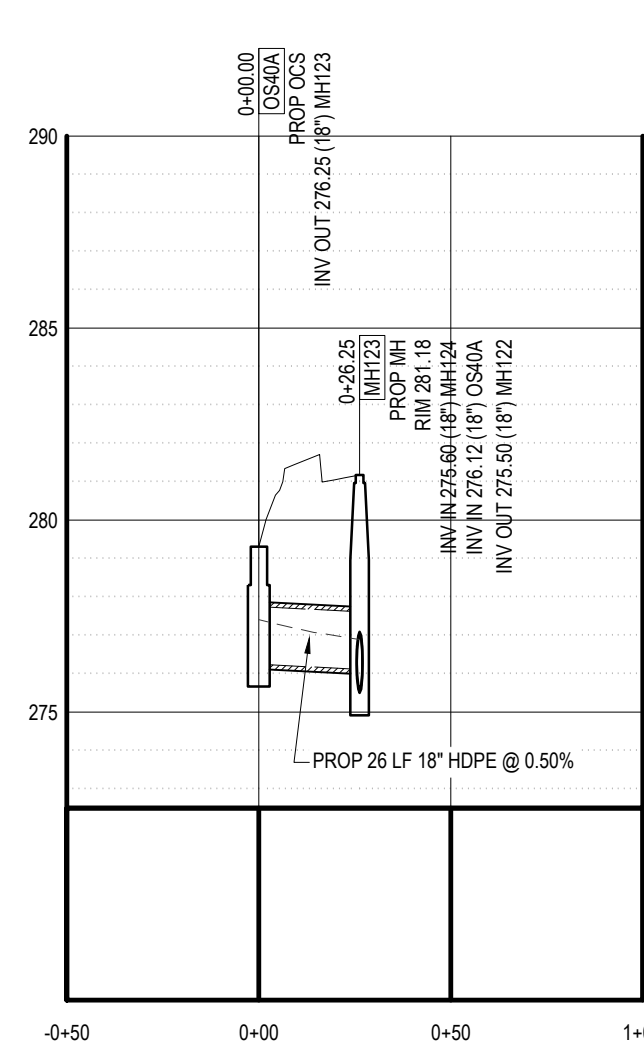
**OS60A**

SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL



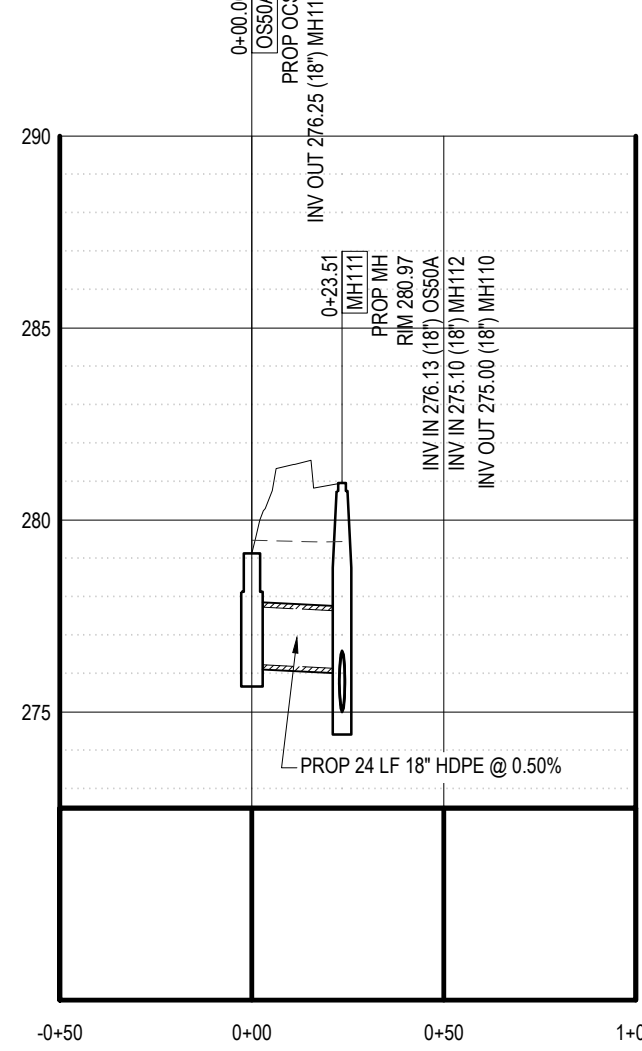
**OS30A**

SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL



**OS40A**

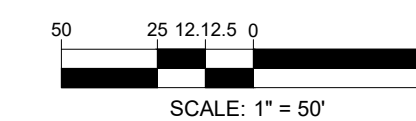
SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL



**OS50A**

SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL

LEGEND	
PROFILE	
EXISTING GRADE	-----
PROPOSED GRADE	_____
HYDRAULIC GRADE LINE	—————
COMPACTED FILL	//////



SCALE: 1"=50'

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY



ATTENTION ALL CONTRACTORS: UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF THIS SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 887 OF 2014 AS AMENDED BY ACT 50 OF 2017, CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK.

PROJECT No.: PAC220255-00-08  
DRAWN BY: SJA / AM  
CHECKED BY: LB / SP  
DATE: 10/04/2024  
CAD LID: P-CIVIL-PROF

**SUBDIVISION / PRELIMINARY LAND DEVELOPMENT PLANS**  
FOR

**MAIN LINE HEALTH, INC.**

PROPOSED MEDICAL CENTER  
5030 HORSESHOE PIKE  
CALN TOWNSHIP  
CHESTER COUNTY, PA  
UPI 32-2-87  
D.B. 9731, PG. 2246

**BOHLER**  
1515 MARKET STREET, SUITE 920  
PHILADELPHIA, PA 19102  
Phone: (267) 402-3400  
Fax: (267) 402-3401  
[www.BohlerEngineering.com](http://www.BohlerEngineering.com)

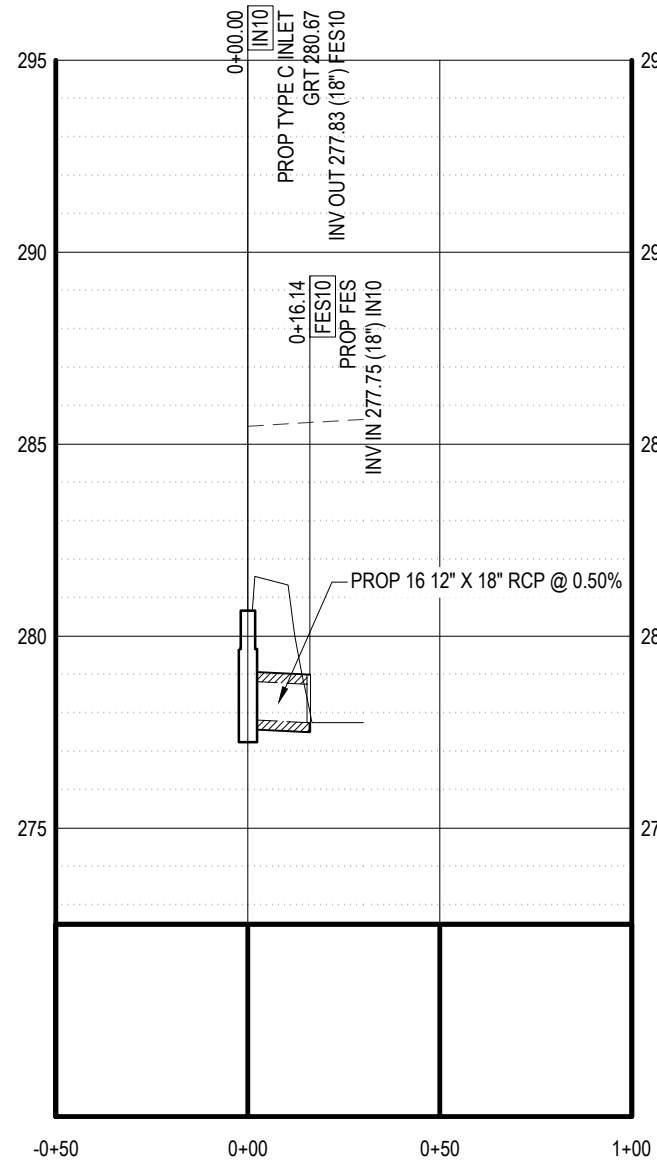


SHEET TITLE:

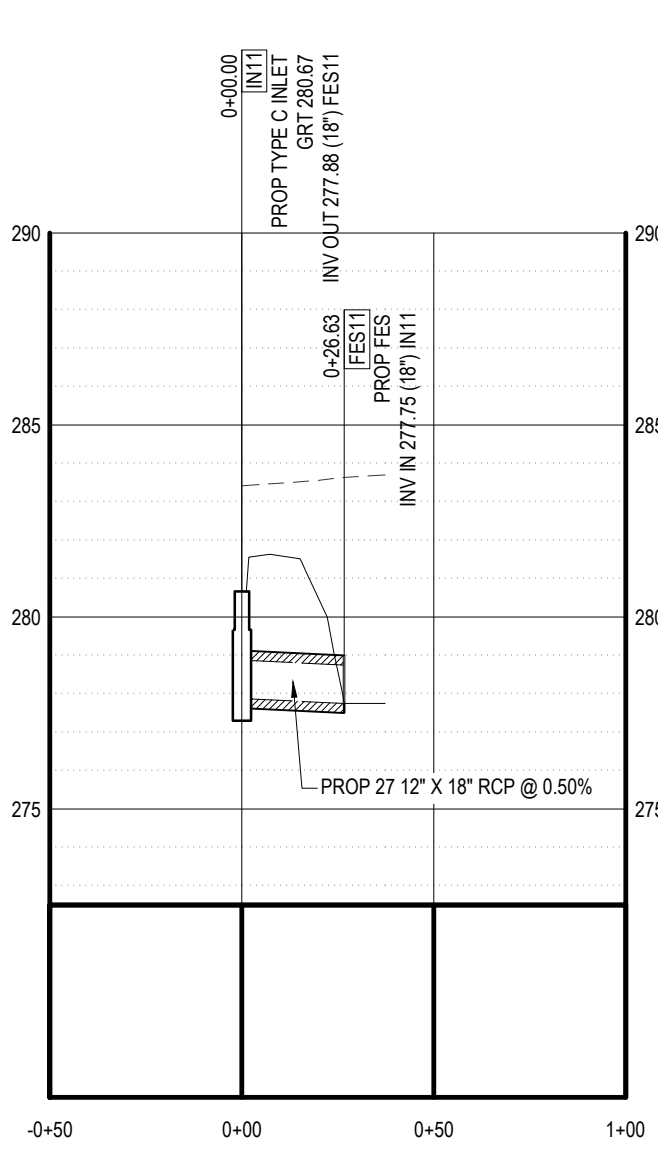
**STORM PROFILES**

SHEET NUMBER:  
**C-602**

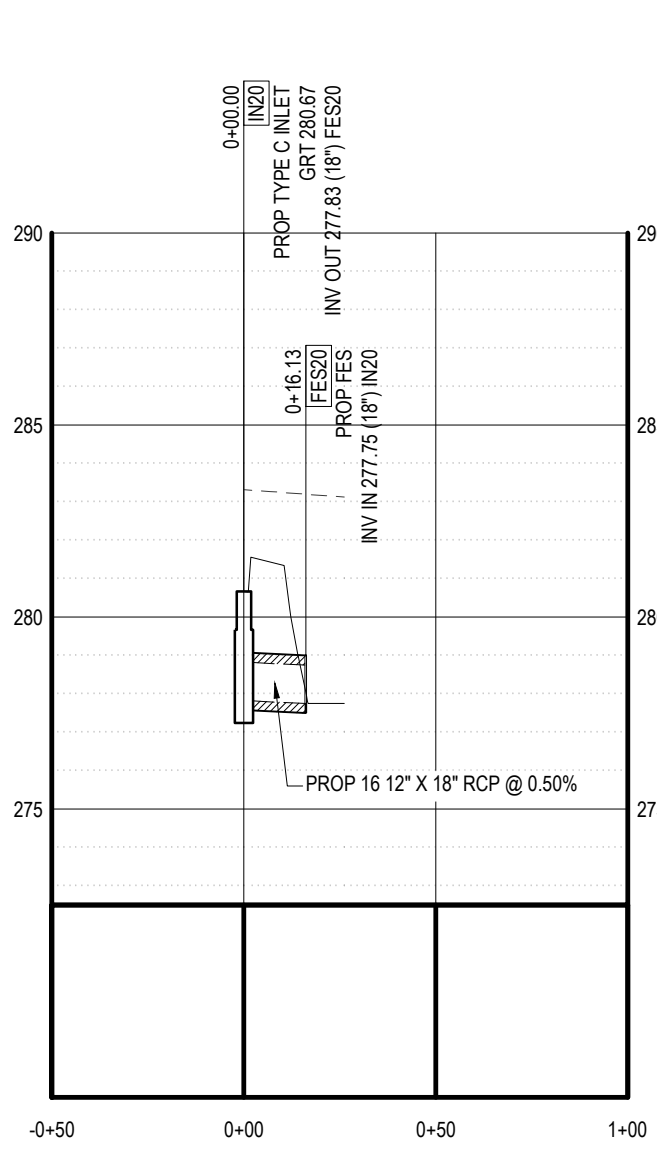
ORG. DATE - 10/04/2024



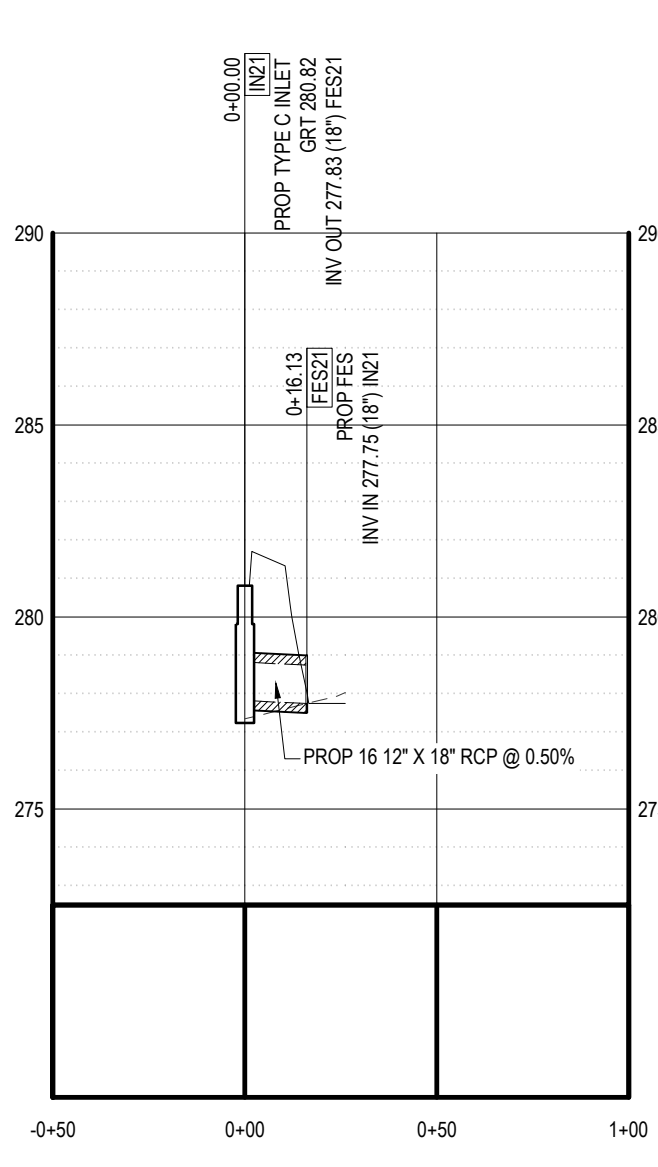
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1"=5' VERTICAL



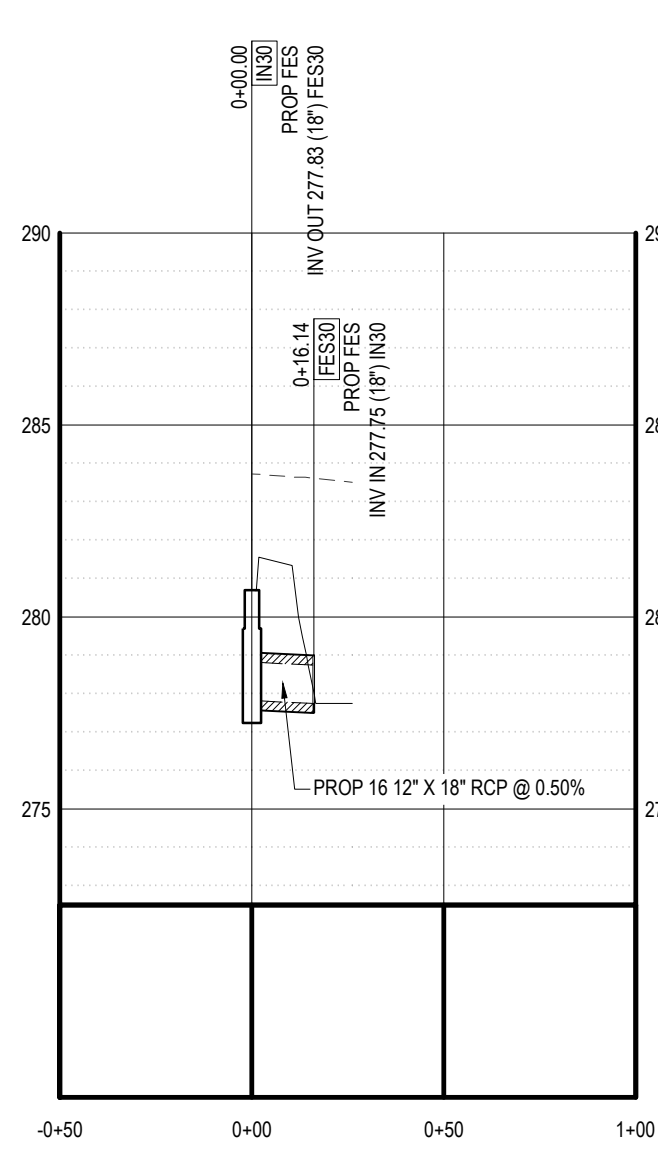
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1"=5' VERTICAL



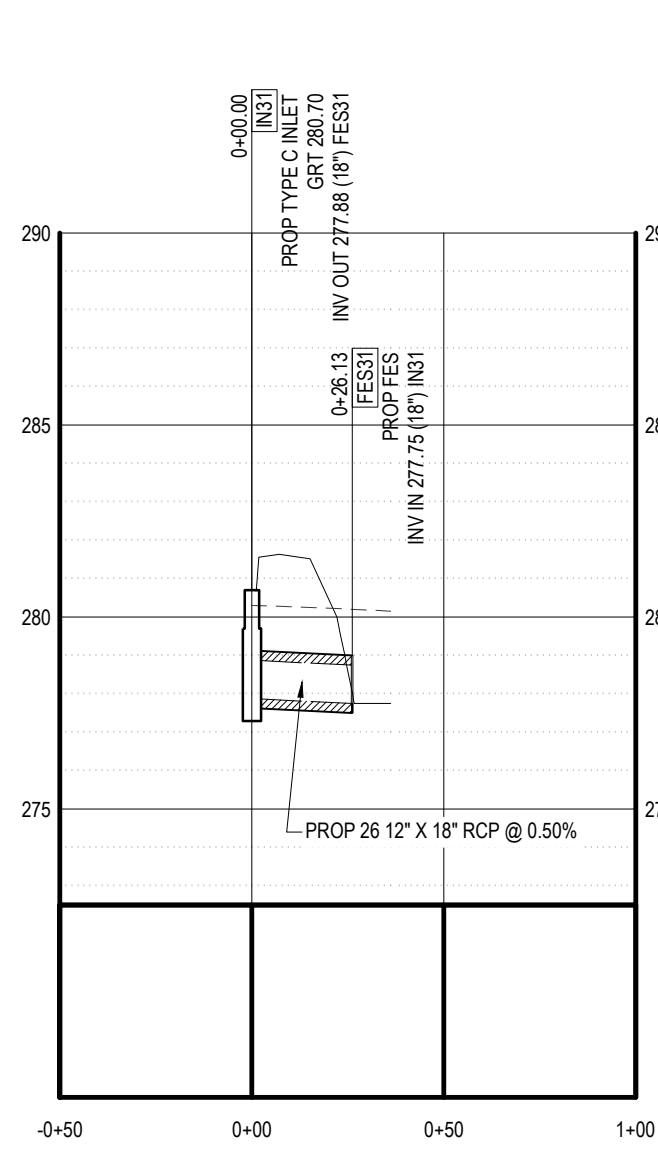
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1"=5' VERTICAL



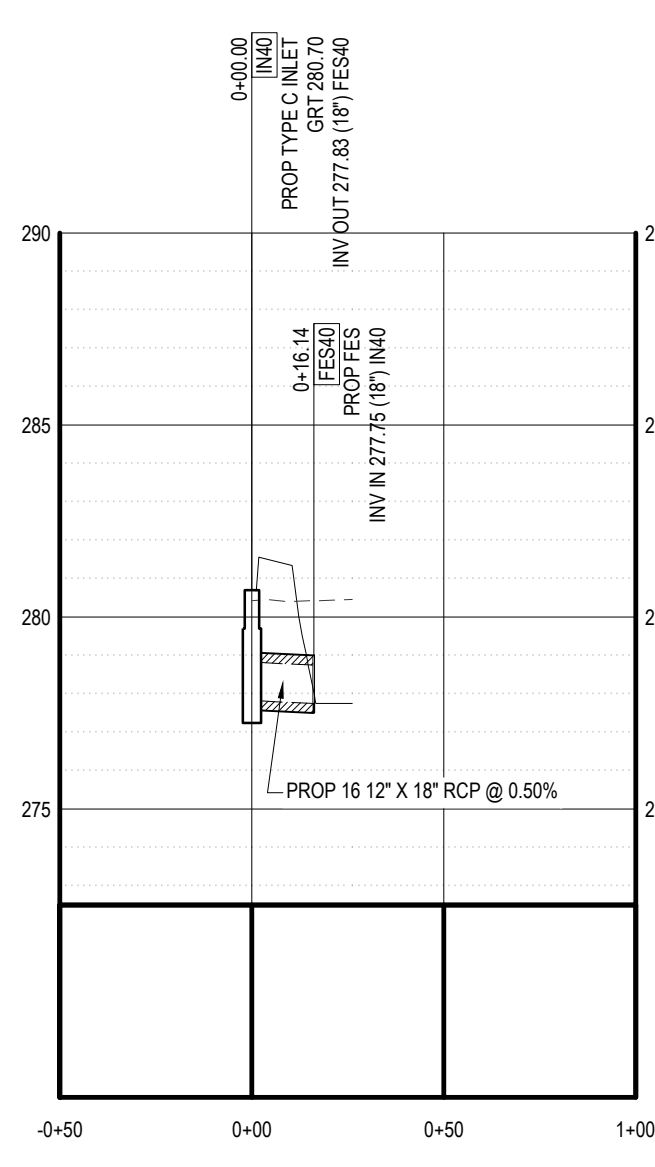
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1"=5' VERTICAL



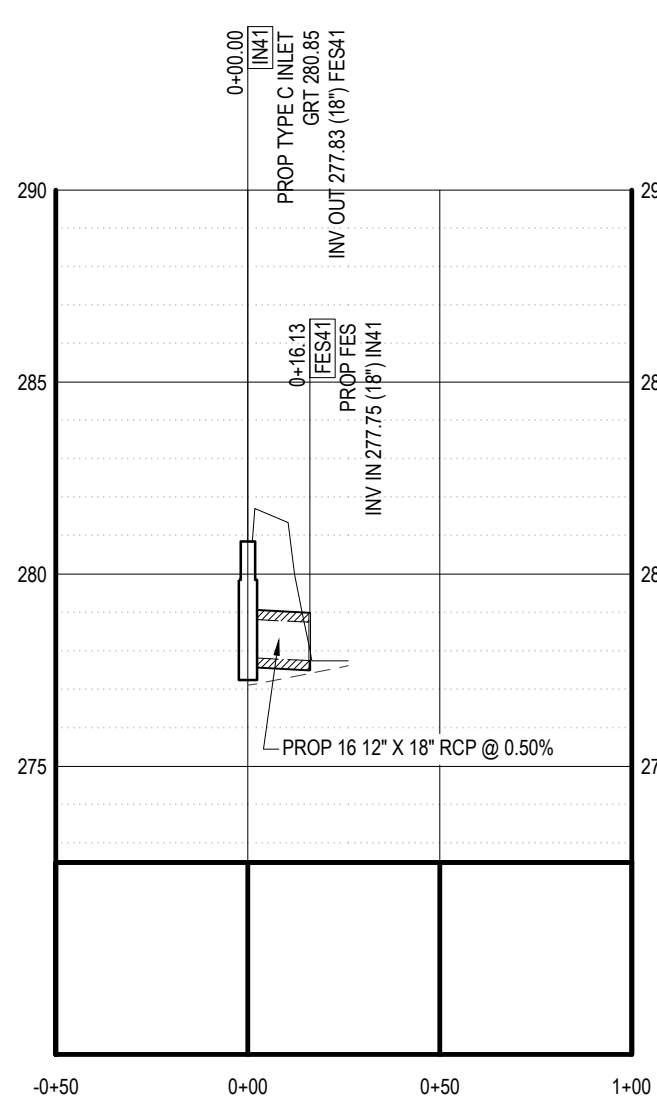
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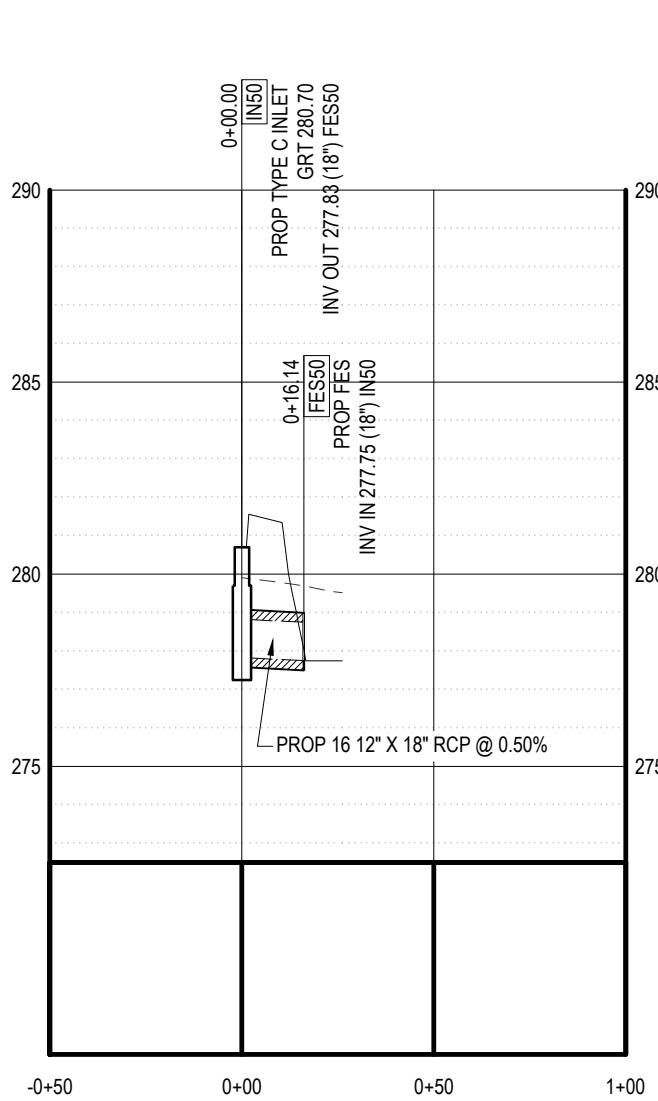
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1"=5' VERTICAL



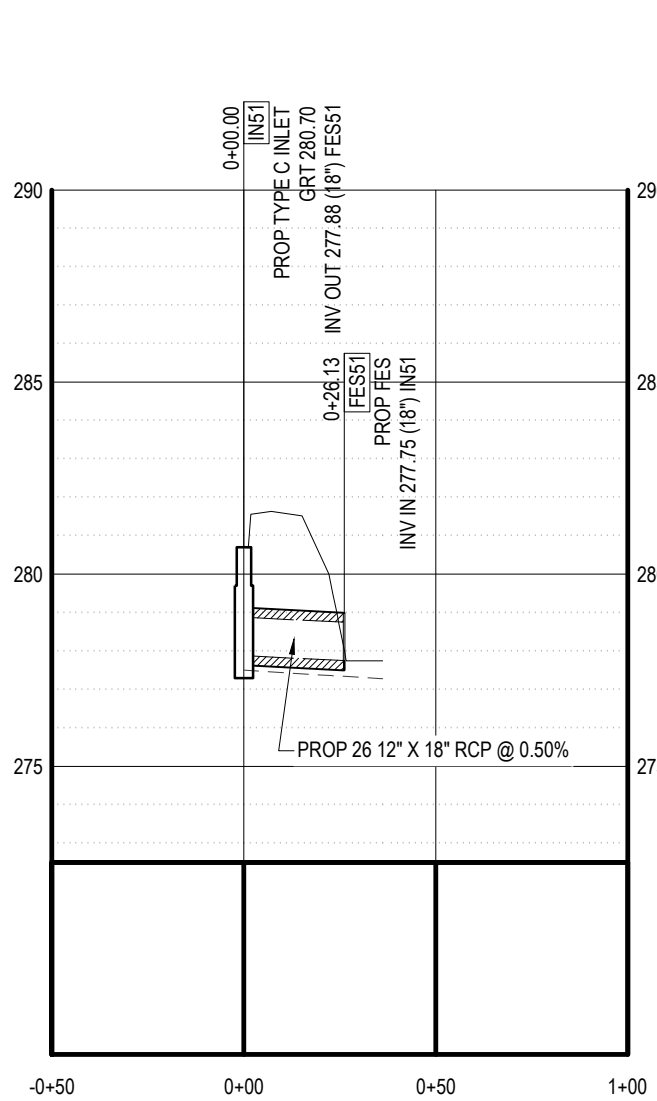
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1"=5' VERTICAL



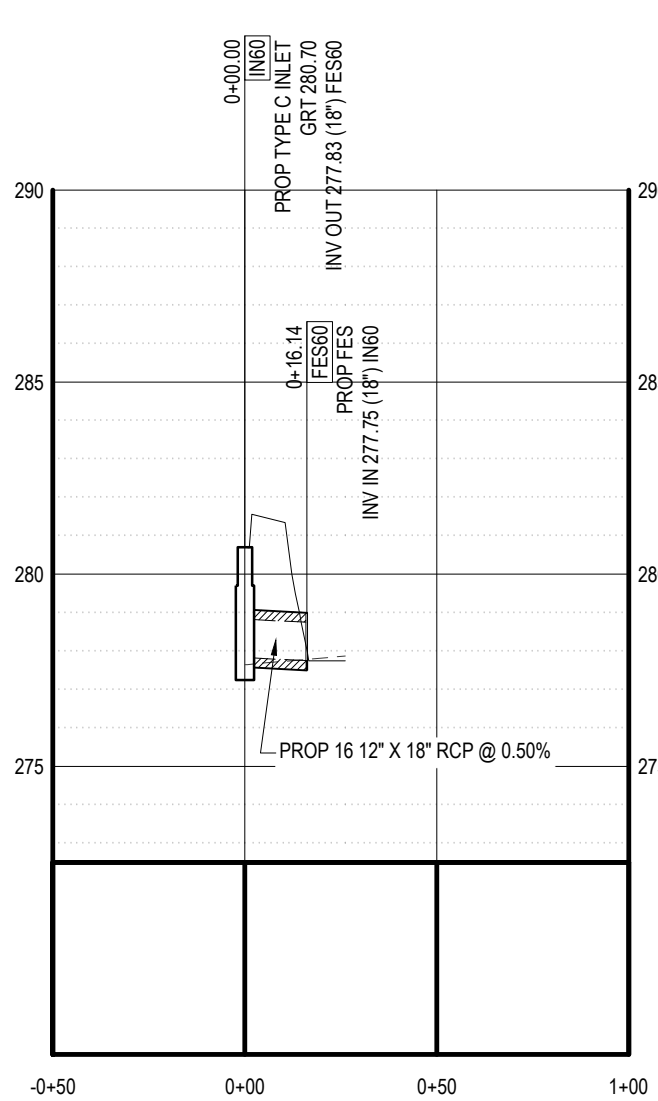
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1"=5' VERTICAL



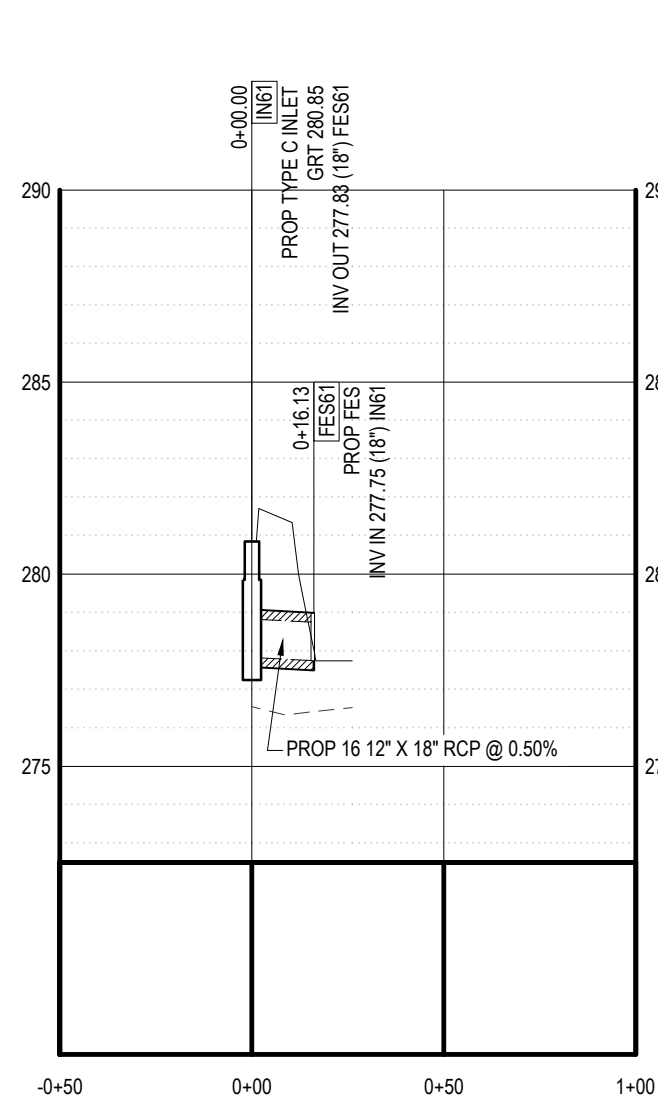
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1"=5' VERTICAL



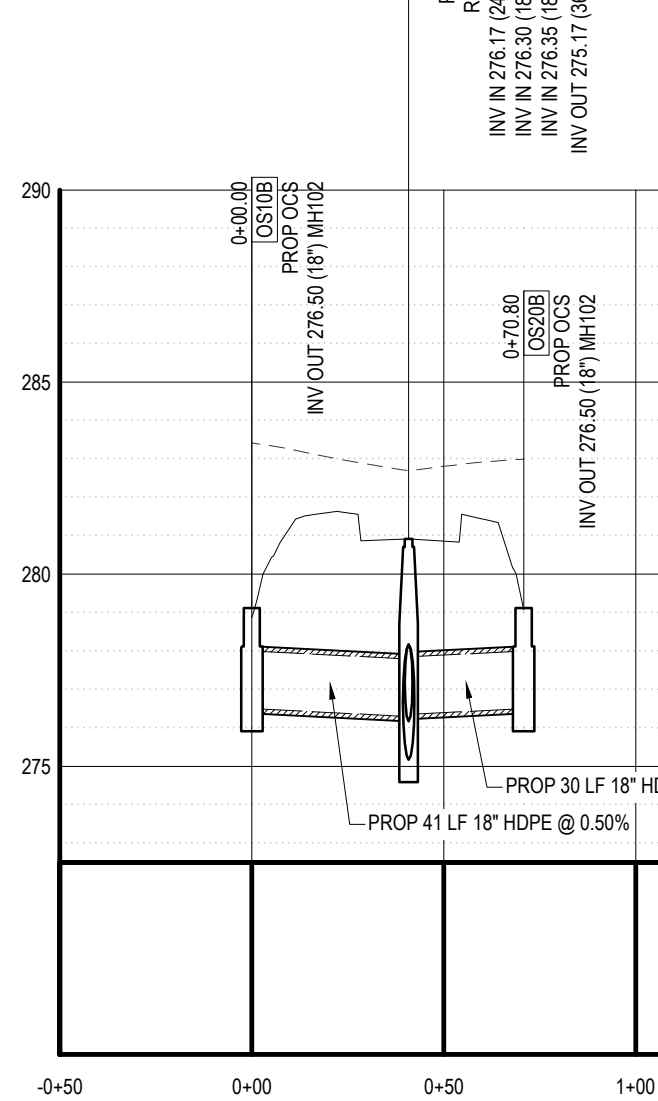
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1"=5' VERTICAL



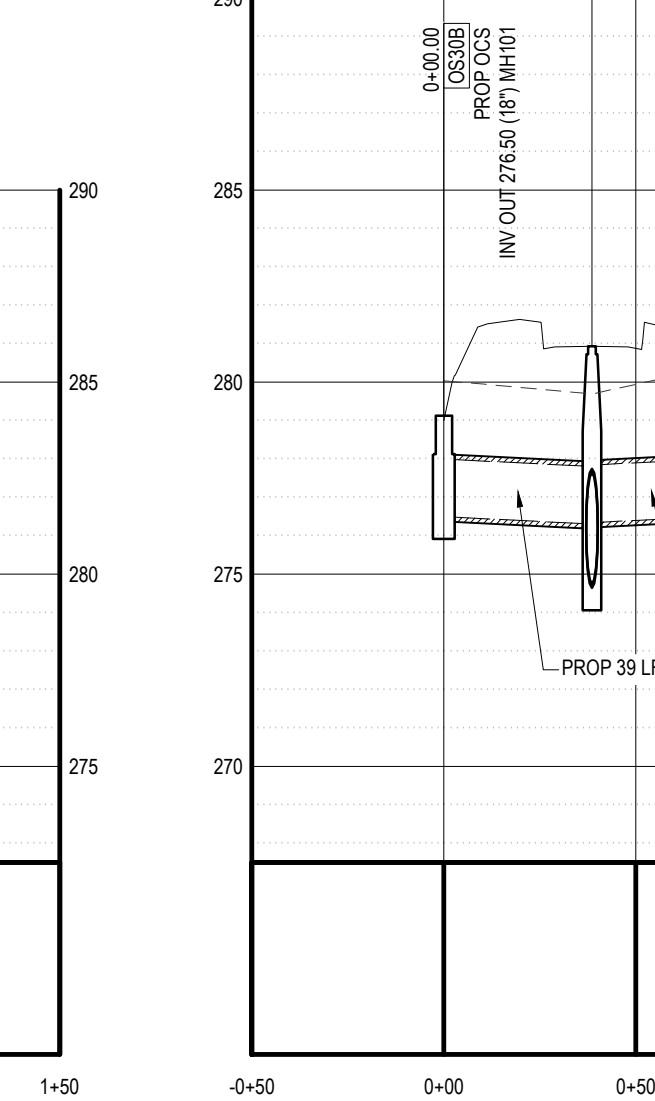
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1"=5' VERTICAL



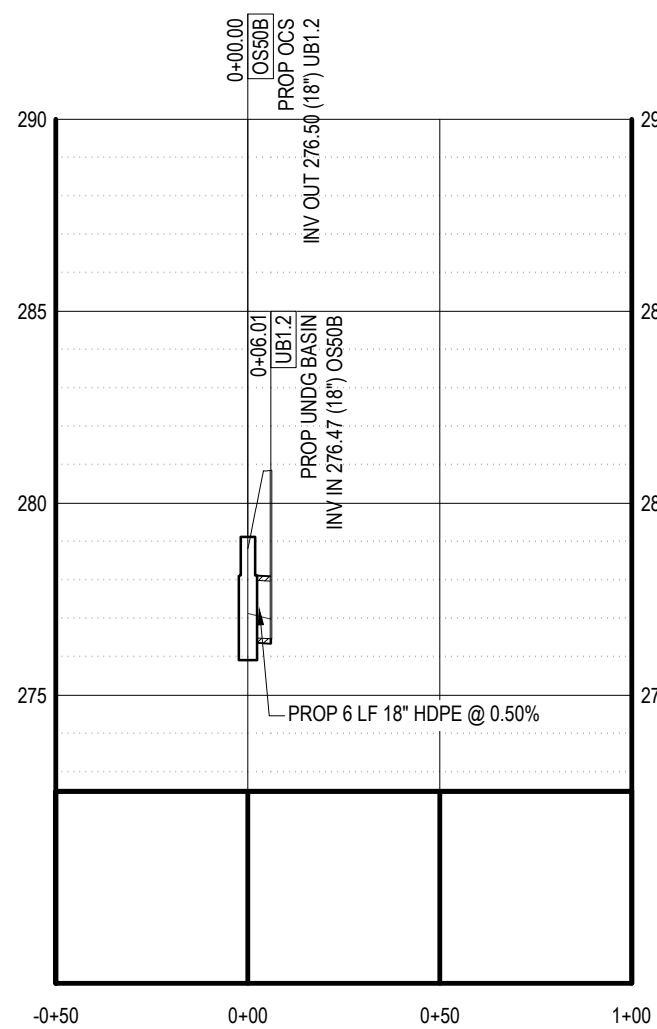
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1"=5' VERTICAL



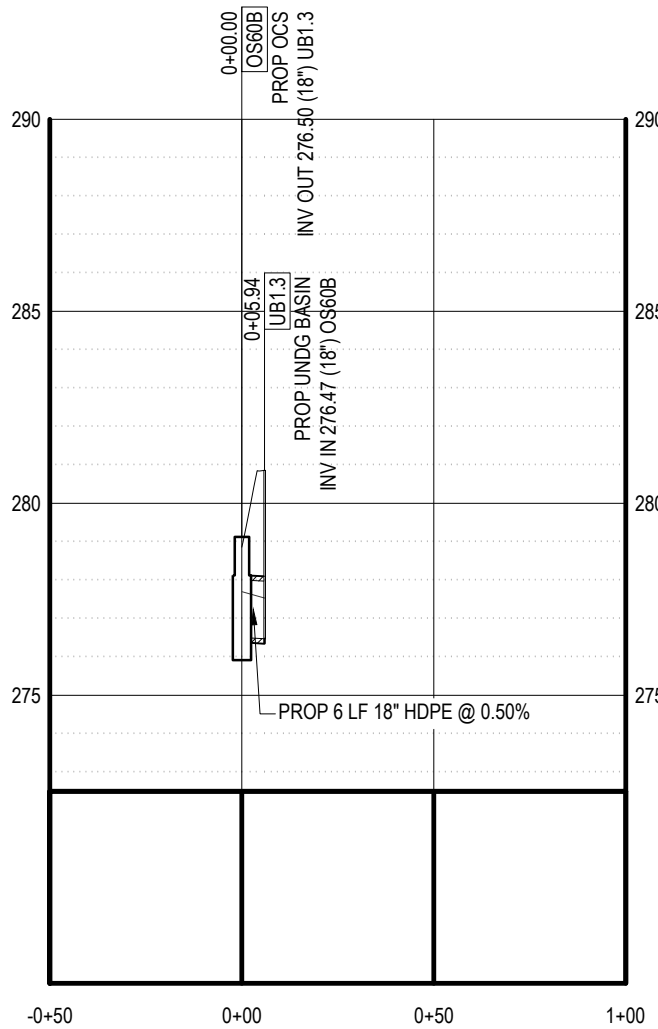
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1"=5' VERTICAL



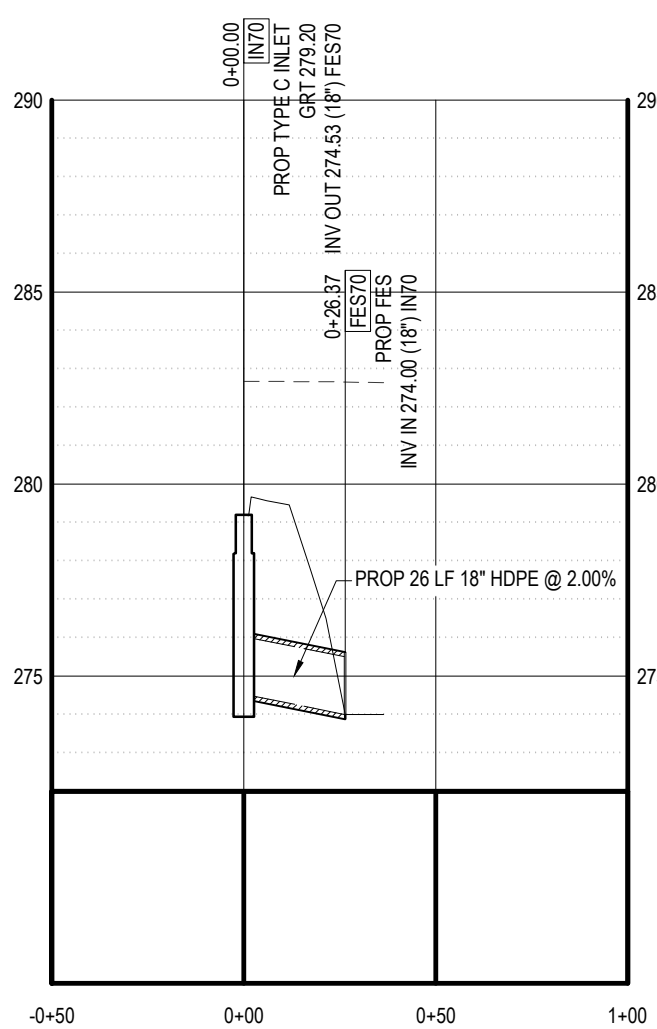
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1"=5' VERTICAL



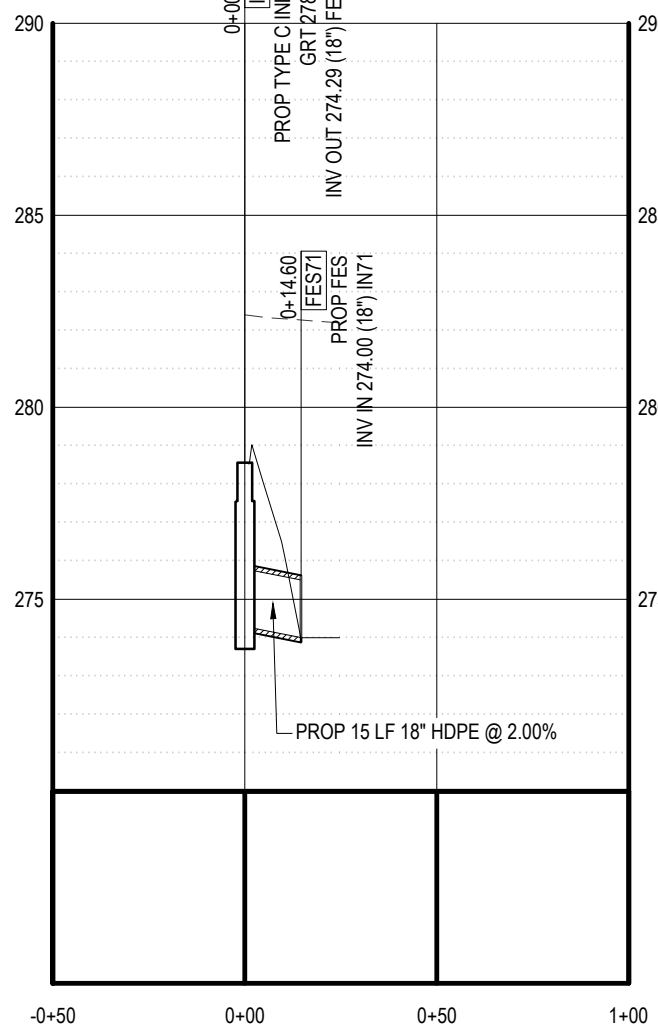
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1"=5' VERTICAL



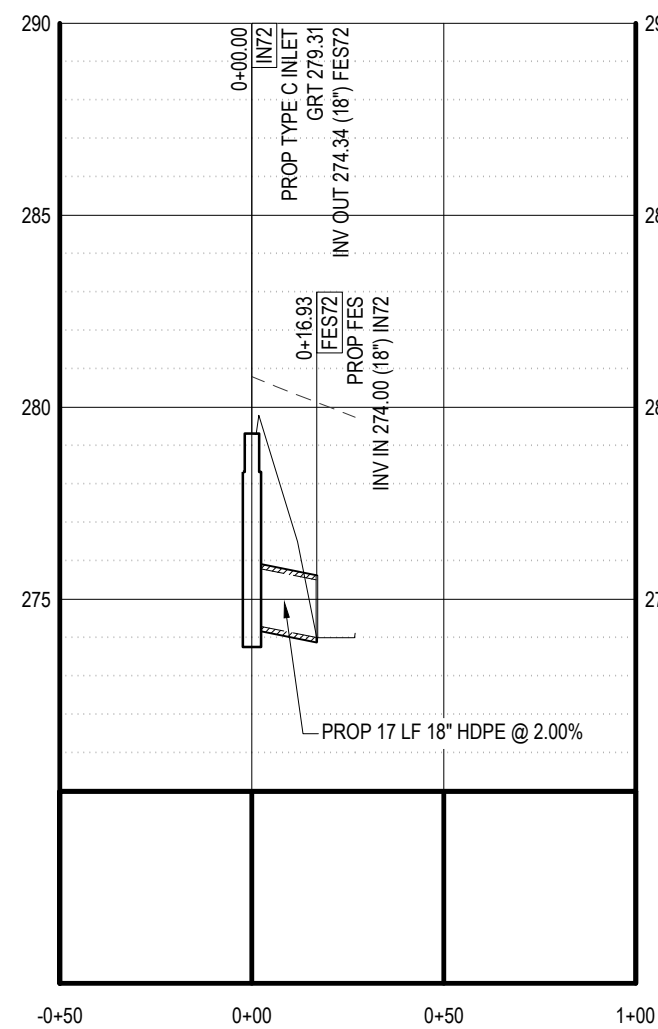
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1"=5' VERTICAL



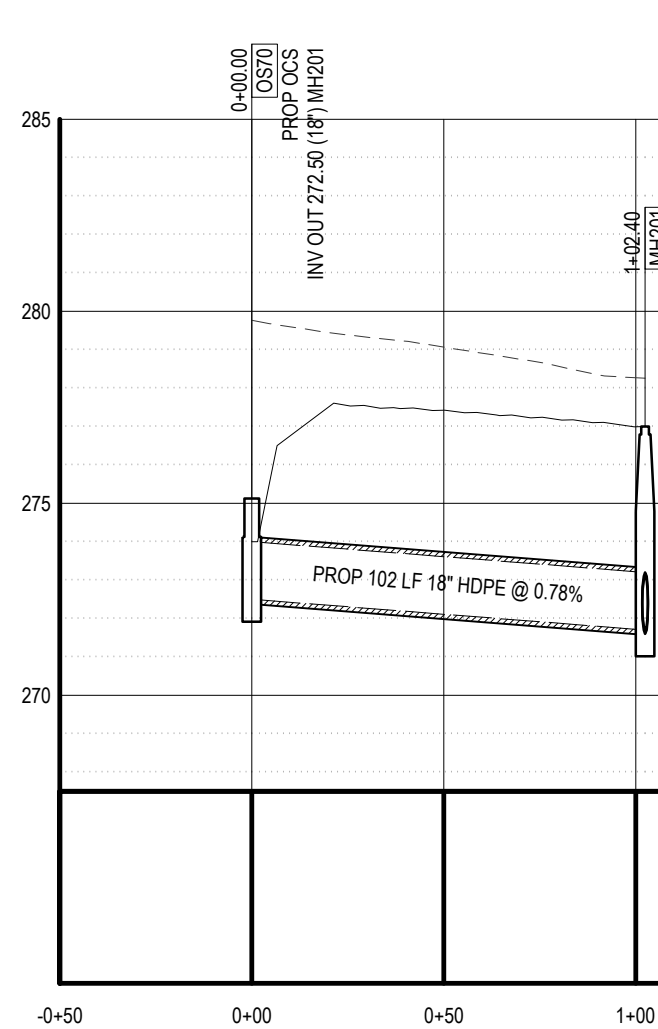
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SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL



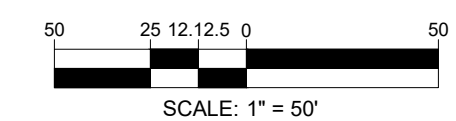
**IN71**  
SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL



**IN72**  
SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL



**OS70**  
SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL



<b>LEGEND</b>	
PROFILE	
EXISTING GRADE	---
PROPOSED GRADE	---
HYDRAULIC GRADE LINE	---
COMPACTED FILL	///

**BOHLER** TM  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

ATTENTION ALL CONTRACTORS:  
LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 567 OF 2014, AS AMENDED BY ACT 50 OF 2017, CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK.  
WWW.PHILLIPSWOOD.COM  
E:PHILLIP@PHILLIPSWOOD.COM

PROJECT No.: PAC220255-00-0B  
DRAWN BY: SJA / AM  
CHECKED BY: LB / SP  
DATE: 10/04/2024  
CAD LD.: P-CIVIL-PROF

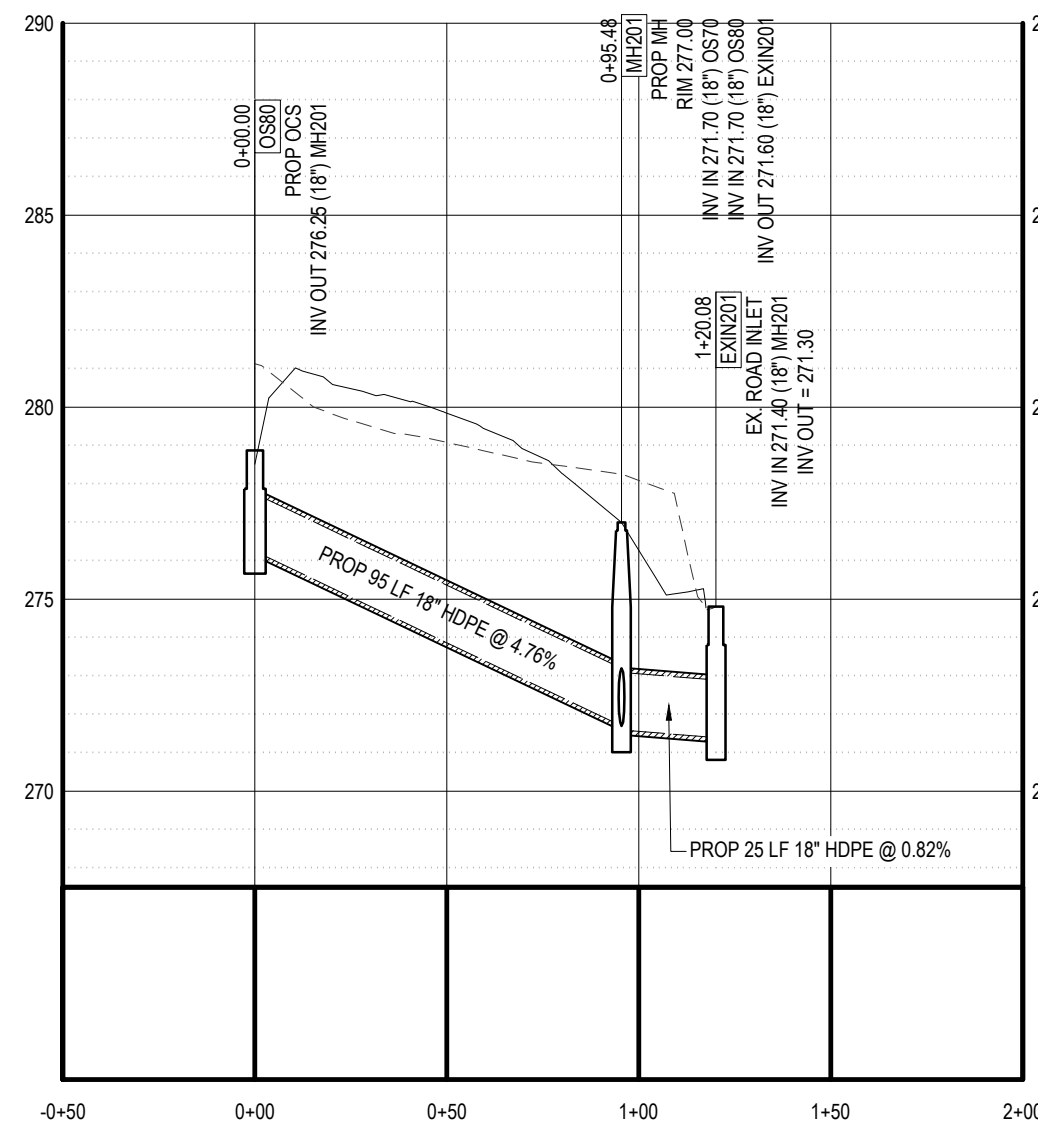
**SUBDIVISION / PRELIMINARY LAND DEVELOPMENT PLANS**  
FOR  
**MAIN LINE HEALTH, INC.**

PROPOSED MEDICAL CENTER  
5030 HORSESHOE PIKE  
CALN TOWNSHIP  
CHESTER COUNTY, PA  
UPI 32-2-87  
D.B. 9731, PG. 2246

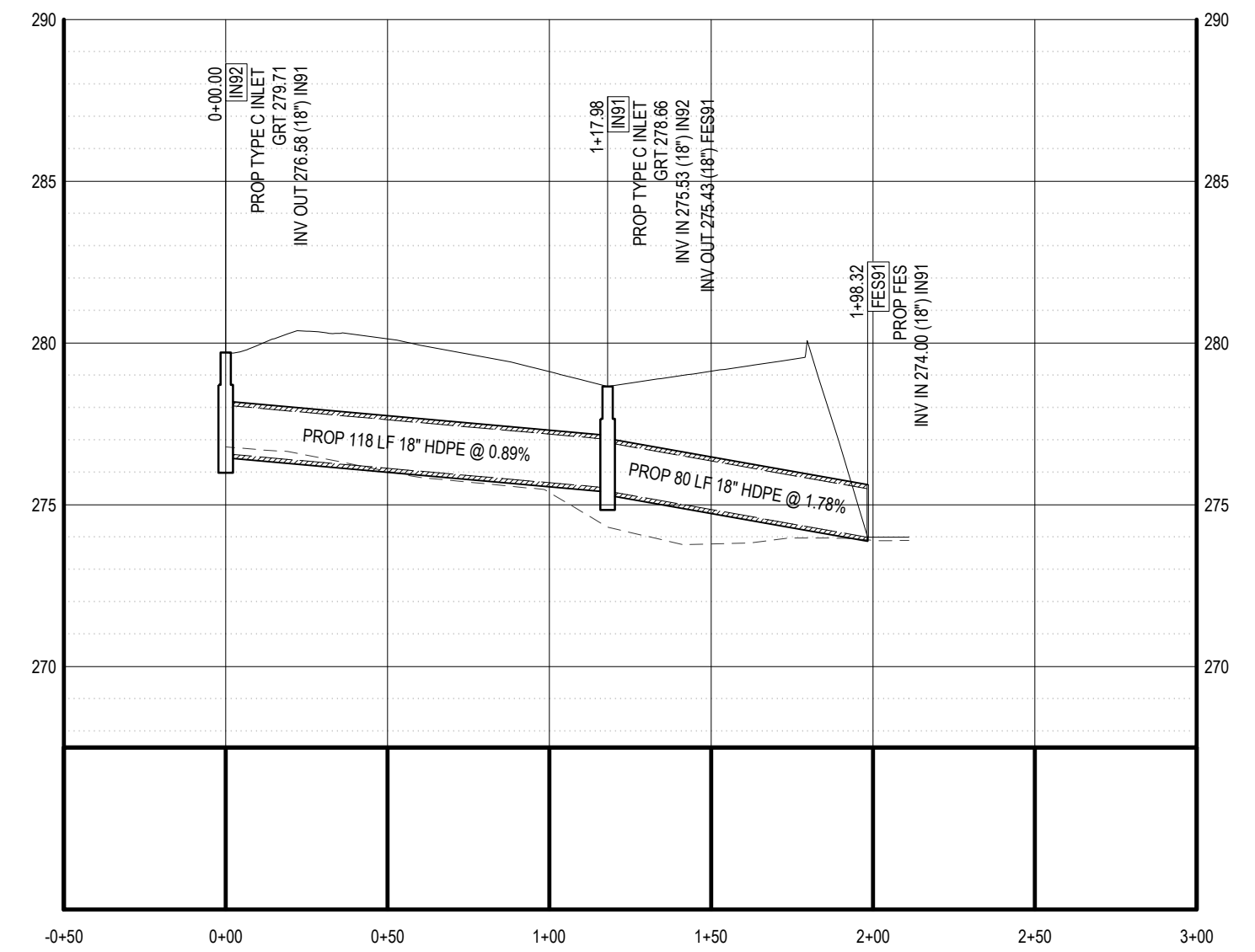
**BOHLER**  
1515 MARKET STREET, SUITE 920  
PHILADELPHIA, PA 19102  
Phone: (267) 402-3400  
Fax: (267) 402-3401  
www.BohlerEngineering.com

**STORM PROFILES**  
SHEET NUMBER:  
**C-603**  
ORG. DATE - 10/04/2024

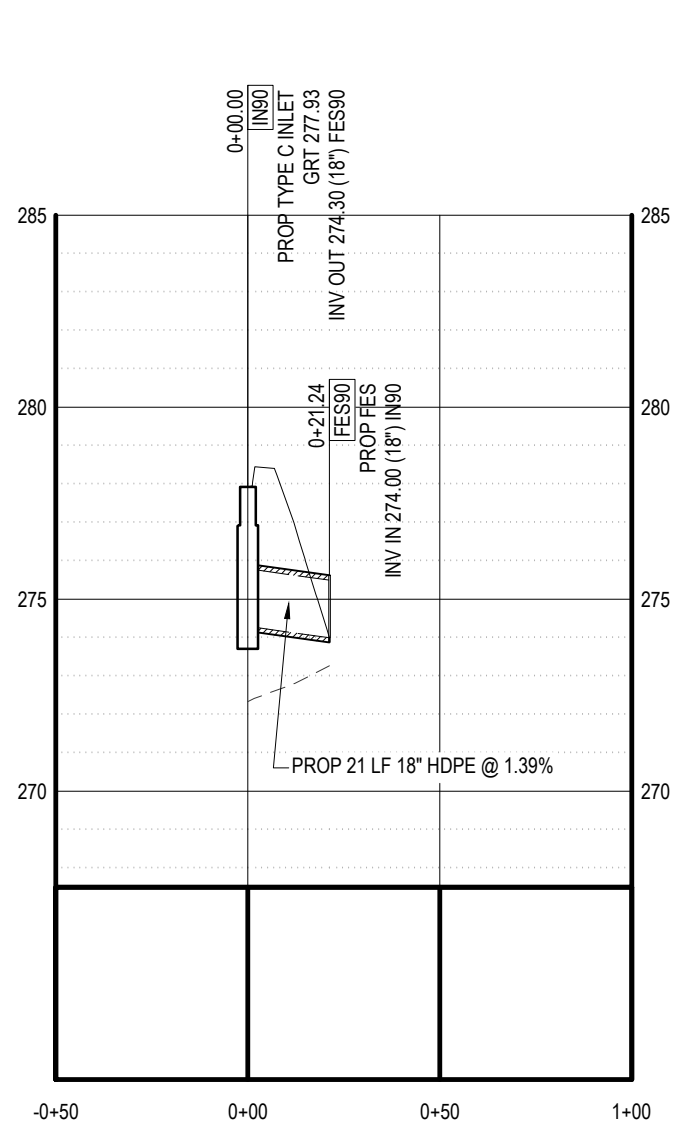
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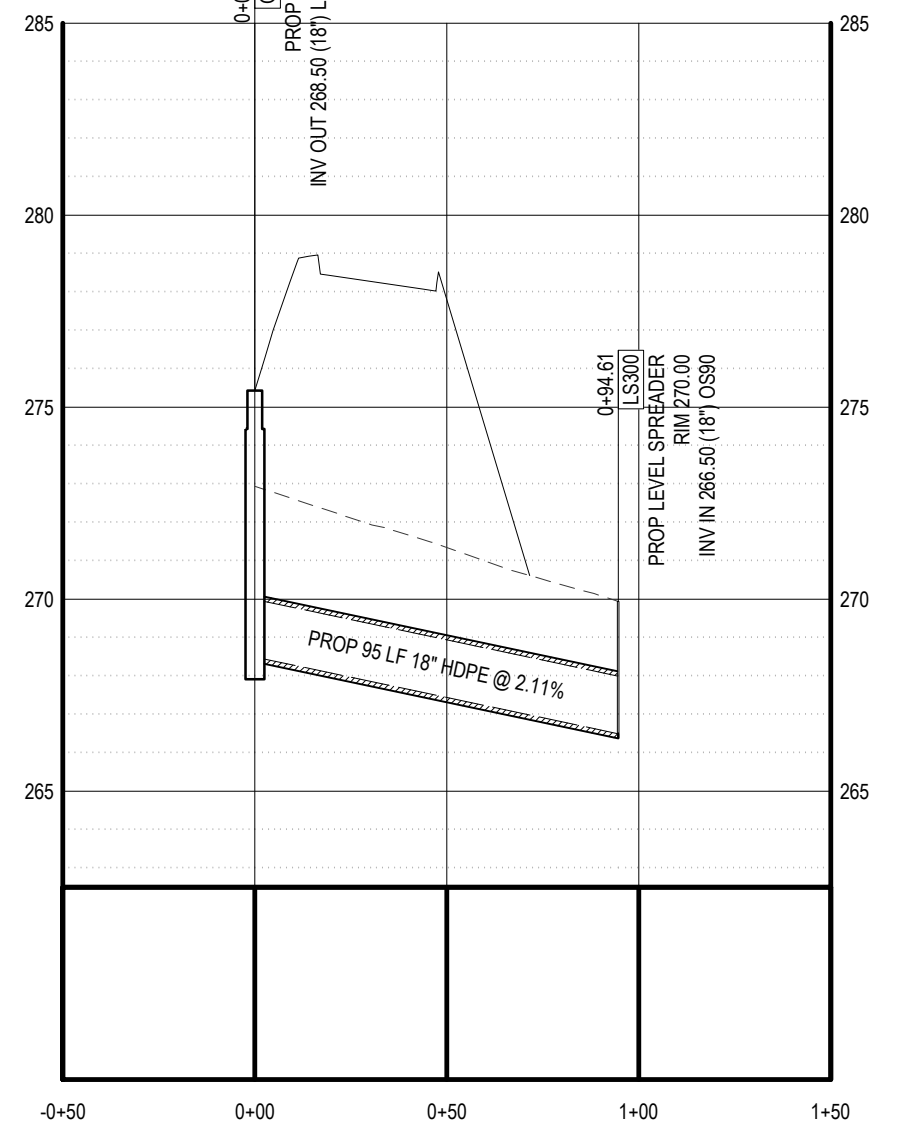
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1"= 5' VERTICAL



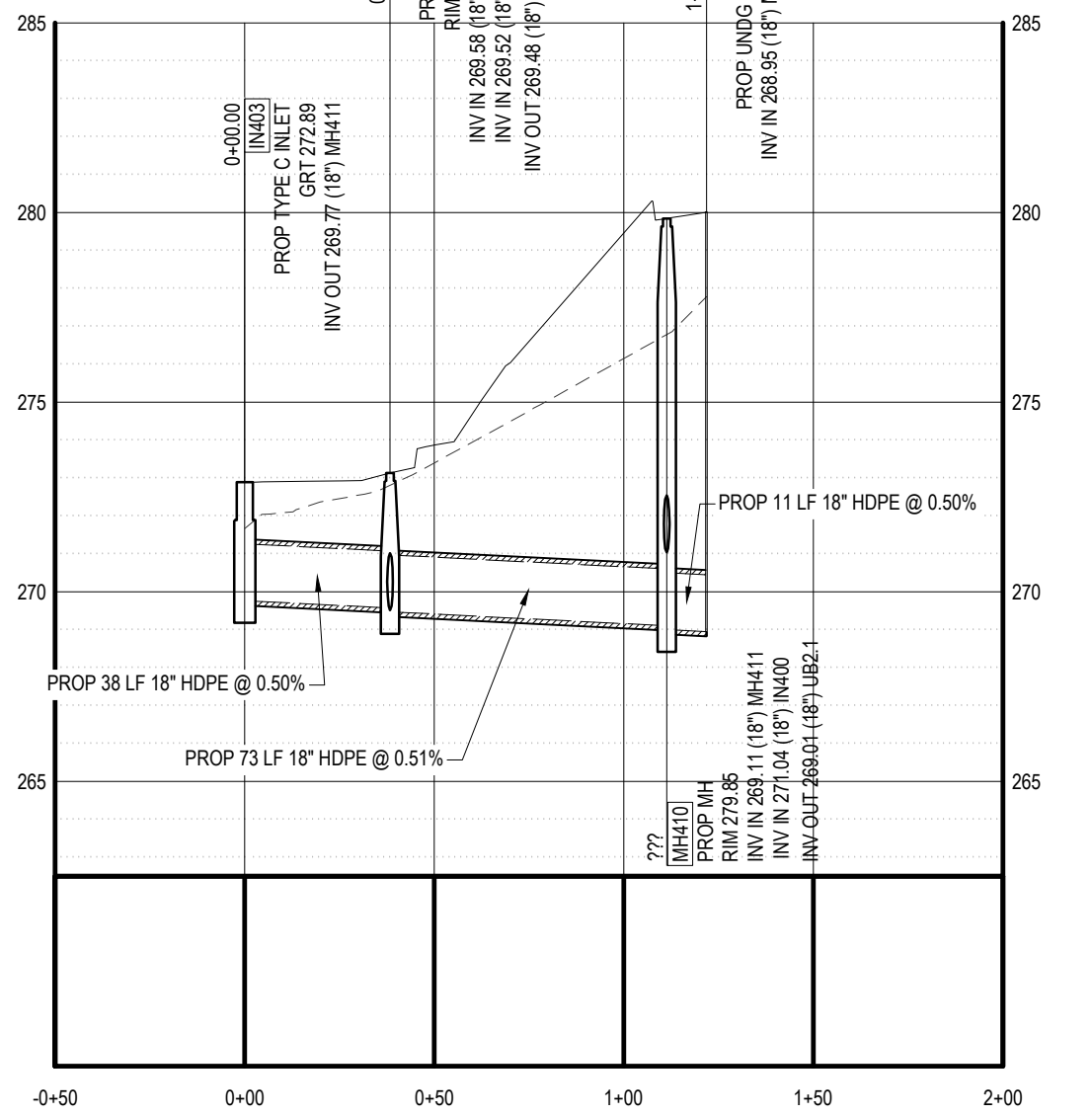
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1"= 5' VERTICAL



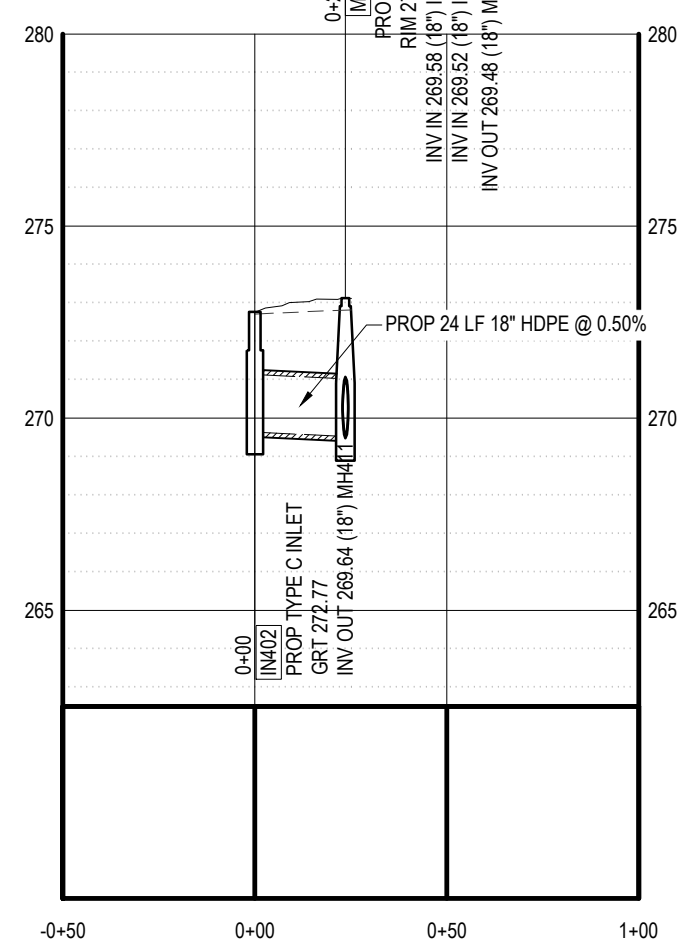
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1"= 5' VERTICAL



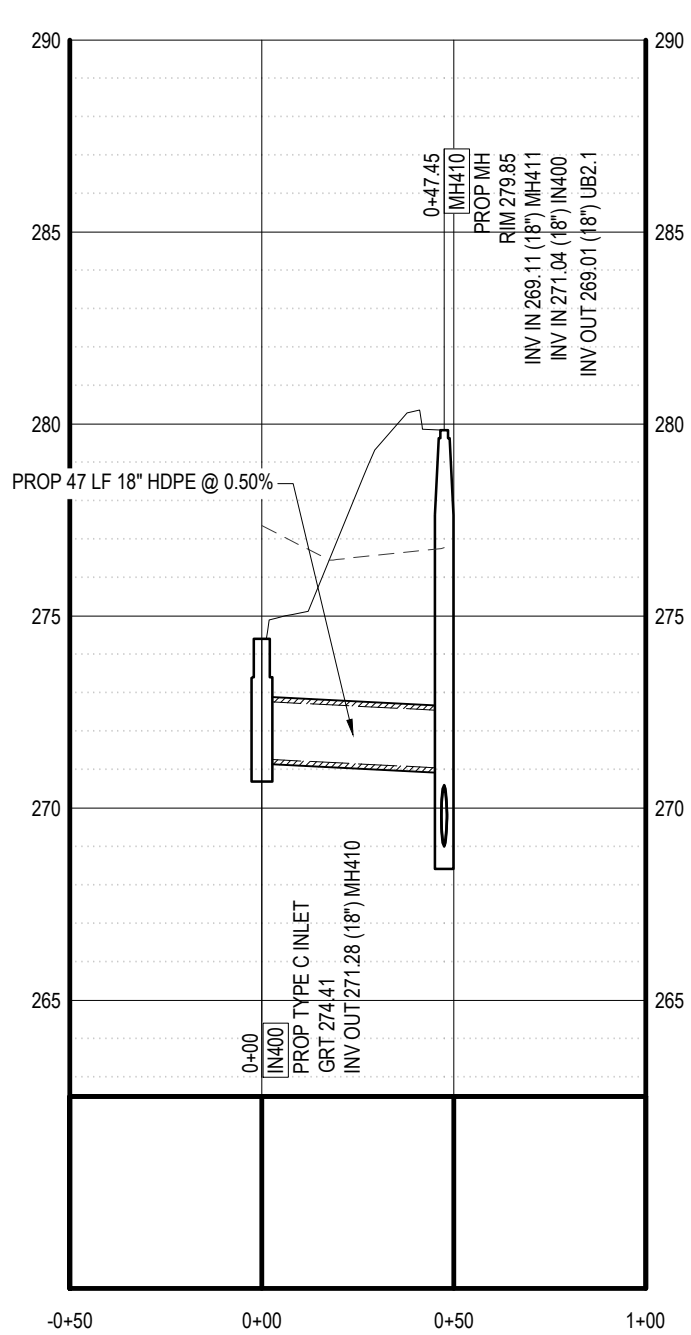
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1"= 5' VERTICAL



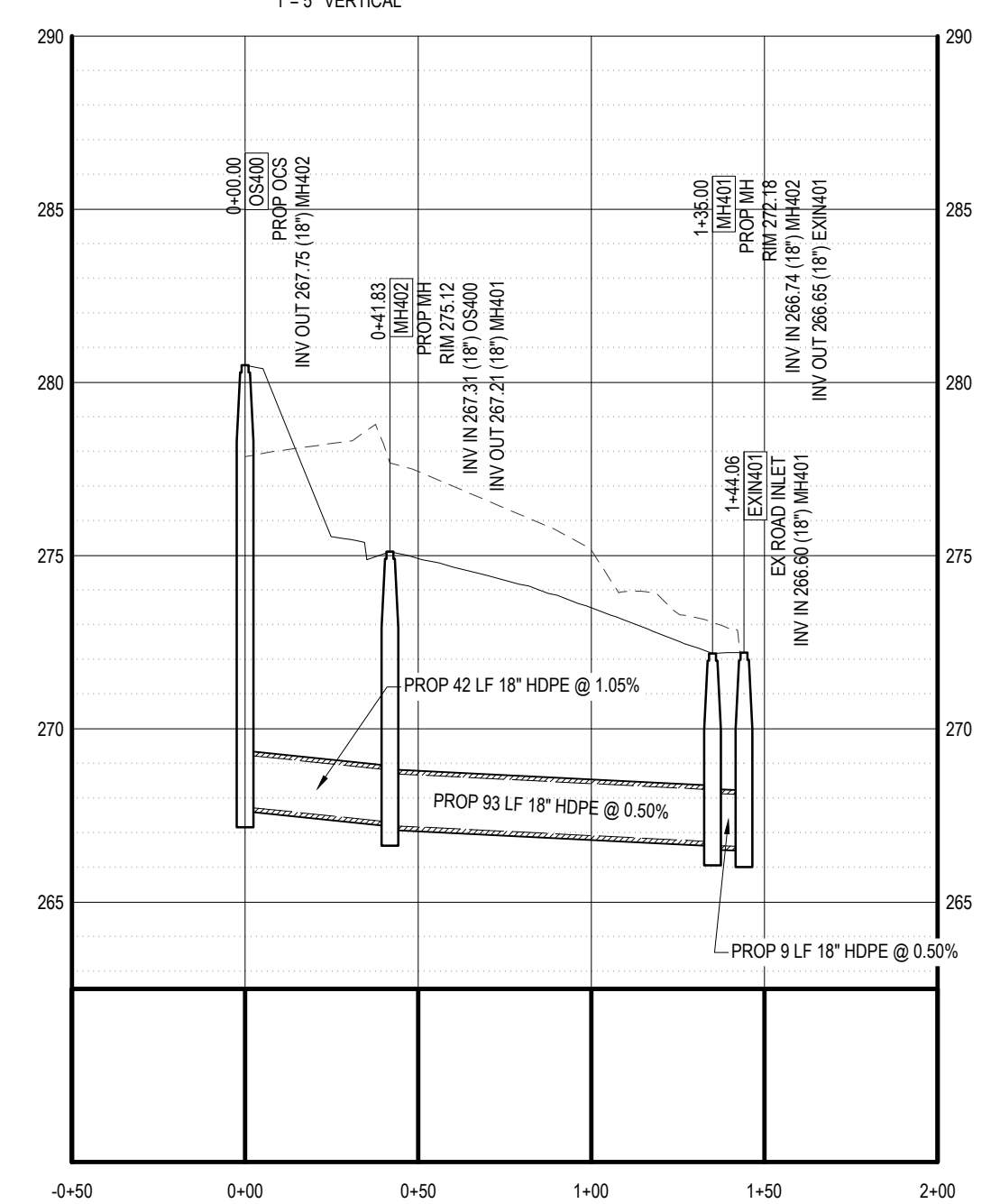
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1"= 5' VERTICAL



**IN402-MH411**  
SCALE: 1"= 50' HORIZONTAL  
1"= 5' VERTICAL



**IN400-MH410**  
SCALE: 1"= 50' HORIZONTAL  
1"= 5' VERTICAL



**OS400**  
SCALE: 1"= 50' HORIZONTAL  
1"= 5' VERTICAL



REVISIONS			
REV	DATE	COMMENT	DRAWN BY / CHECKED BY

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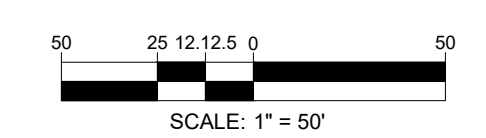
PROJECT No.: PAC220255-00-0B  
DRAWN BY: SJA / AM  
CHECKED BY: LB / SP  
DATE: 10/04/2024  
CAD ID: P-CIVIL-PROF

PROJECT:  
**SUBDIVISION / PRELIMINARY LAND DEVELOPMENT PLANS**  
FOR  
**MAIN LINE HEALTH, INC.**  
PROPOSED MEDICAL CENTER  
5030 HORSESHOE PIKE  
CALN TOWNSHIP  
CHESTER COUNTY, PA  
UPI 32-2-87  
D.B. 9731, PG. 2246

**BOHLER**  
1515 MARKET STREET, SUITE 920  
PHILADELPHIA, PA 19102  
Phone: (267) 402-3400  
Fax: (267) 402-3401  
www.BohlerEngineering.com

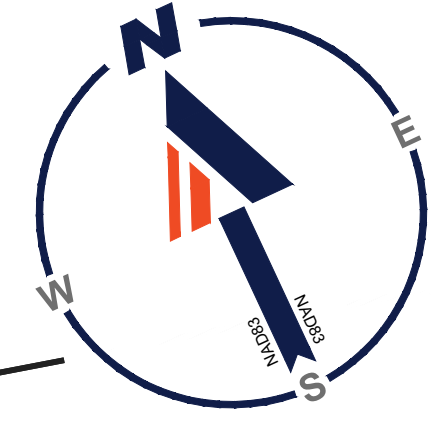


SHEET TITLE:  
**STORM PROFILES**  
SHEET NUMBER:  
**C-604**  
ORG. DATE - 10/04/2024



LEGEND	
EXISTING GRADE	-----
PROPOSED GRADE	_____
HYDRAULIC GRADE LINE	_____
COMPACTED FILL	//////

I:\BOHLER\NET\SHARES\PA\PROJECTS\2022\PA\PROJECTS\2022\PA\CIVIL\DRAWINGS\PLAN SETS\CIVIL SITE PLAN\BP-CIVIL-PROF-PAC220255-00-0B---JAY\OUT: C-604.PST

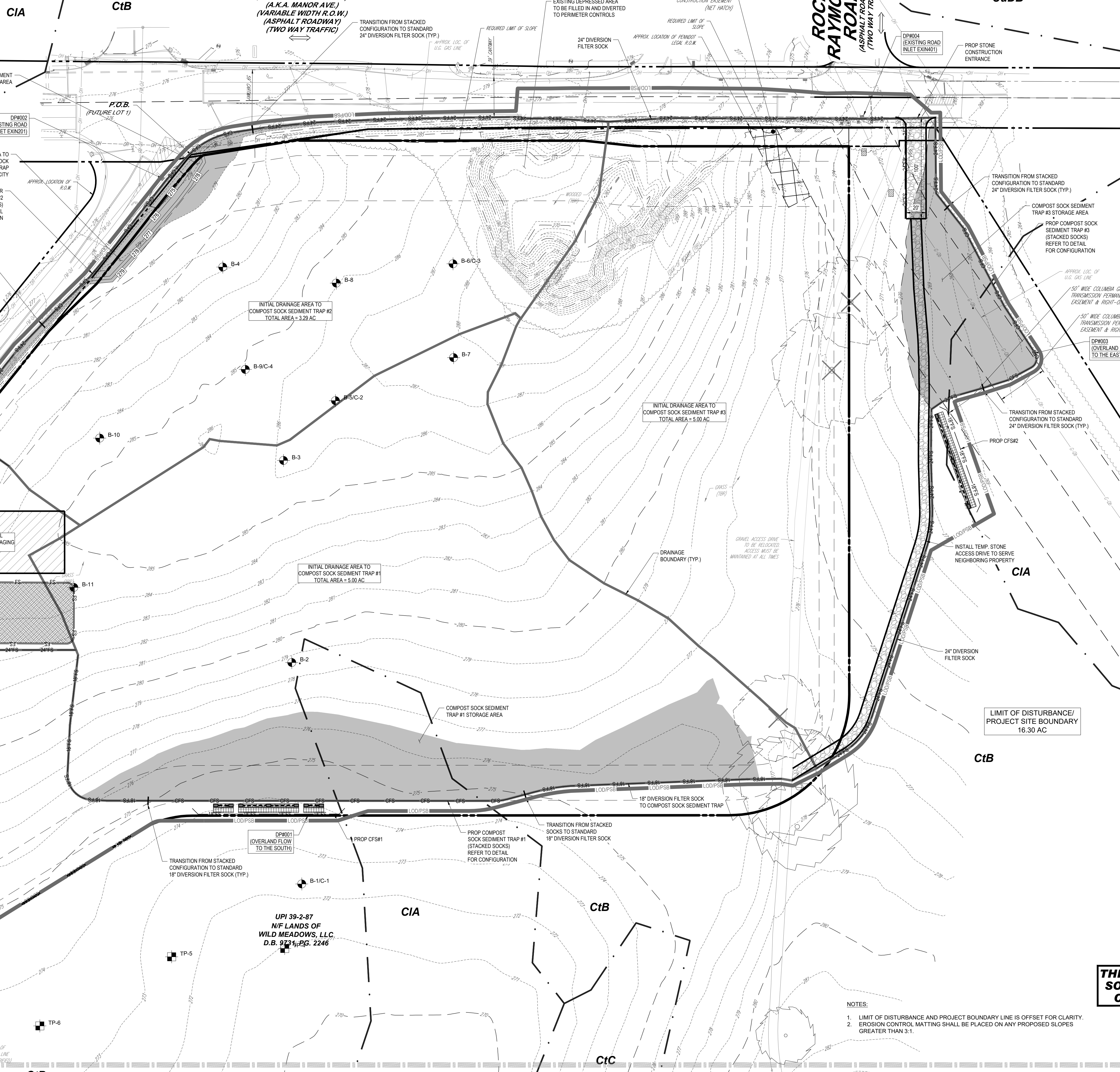


**HORSESHOE PIKE**

(A.K.A. STATE ROUTE 322)  
(A.K.A. MANOR AVE.)  
(VARIABLE WIDTH R.O.W.)  
(ASPHALT ROADWAY)  
(TWO WAY TRAFFIC)

**ROCK RAYMOND ROAD**  
(ASPHALT ROADWAY)  
(TWO WAY TRAFFIC)

**LLOYD AVENUE**  
(A.K.A. NORTH LLOYD AVENUE (TRP ROAD))  
(VARIABLE WIDTH R.O.W.)  
(ASPHALT ROADWAY)  
(TWO WAY TRAFFIC)



BOHLER ENGINEERING INC. PROJECT: PAC220255-00-0B - LAYOUT: C-801 EROSION AND SEDIMENT CONTROL PLAN

**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

ATTENTION ALL CONTRACTORS: LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF THE UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 807 OF 2014 AS AMENDED BY ACT 50 OF 2017, CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK.  
WWW.PA.GAS.LINE.ORG  
#6029373143

PROJECT No.: PAC220255-00-0B  
DRAWN BY: SJA / M  
CHECKED BY: LB / SP  
DATE: 10/04/2024  
CAD ID: P-CIVL-SESC

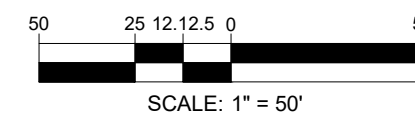
PROJECT:  
**SUBDIVISION I  
PRELIMINARY LAND  
DEVELOPMENT  
PLANS**  
FOR  
**MAIN LINE  
HEALTH, INC.**  
PROPOSED MEDICAL CENTER  
CALN TOWNSHIP  
CHESTER COUNTY, PA  
UPI 32-2-87  
D.B. 9731, PG. 2246

**BOHLER**  
1515 MARKET STREET, SUITE 920  
PHILADELPHIA, PA 19102  
Phone: (267) 402-3400  
Fax: (267) 402-3401  
www.BohlerEngineering.com



SHEET TITLE:  
**EROSION AND  
SEDIMENT  
CONTROL PLAN  
PHASE 1**  
SHEET NUMBER:  
**C-801**  
ORG. DATE - 10/04/2024

**THIS PLAN TO BE UTILIZED FOR  
SOIL EROSION AND SEDIMENT  
CONTROL PURPOSES ONLY**



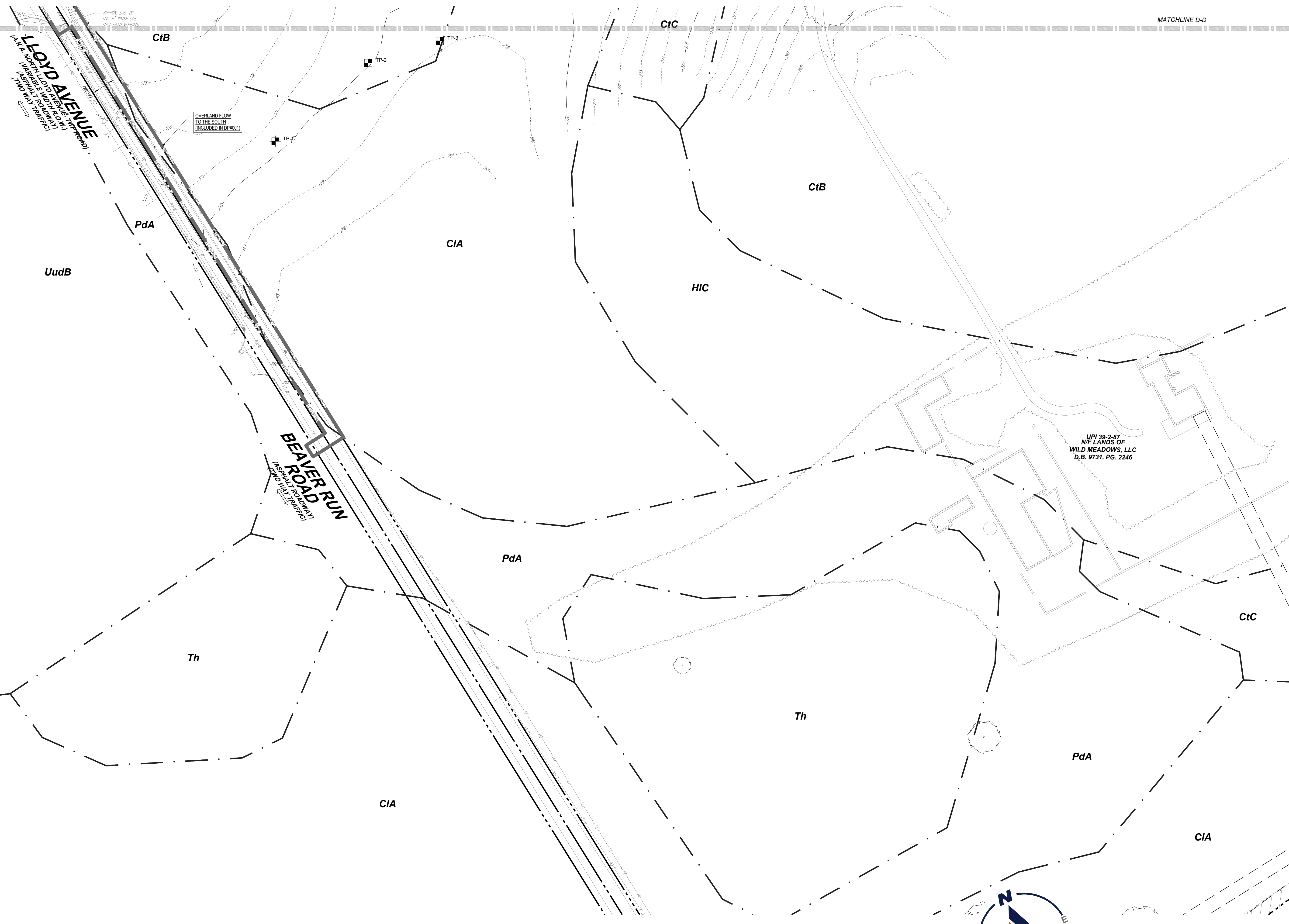
- NOTES:
1. LIMIT OF DISTURBANCE AND PROJECT BOUNDARY LINE IS OFFSET FOR CLARITY.
  2. EROSION CONTROL MATTING SHALL BE PLACED ON ANY PROPOSED SLOPES GREATER THAN 3:1.

MATCHLINE D-D

MATCHLINE D-D

MATCHLINE D-D

MATCHLINE D-D



LLOYD AVENUE  
(A.K.A. NORTH LLOYD AVENUE (E/W))  
(A.S.P. WITH TRAFFIC)

BEAVER ROAD RUN  
(A.S.P. WITH TRAFFIC)

UPI 32-2-87  
N/F LANDS OF  
WILD MEADOWS, LLC  
D.B. 9731, PG. 2246

**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	BY	CHECKED BY

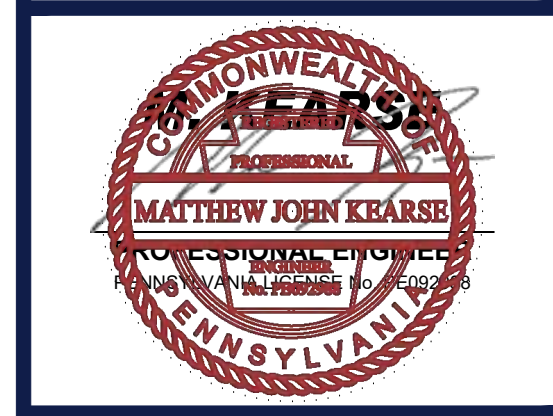
ATTENTION ALL CONTRACTORS:  
LOCATIONS OF ALL EXISTING  
UTILITIES SHOWN HEREON HAVE  
BEEN DEVELOPED FROM UTILITY  
COMPANY RECORDS AND/OR  
AN ABOVE-GROUND INSPECTION OF THE  
SITE. COMPLETENESS OR  
ACCURACY OF TYPE, SIZE, DEPTH,  
OR HORIZONTAL LOCATION OF  
UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE  
GUARANTEED. PURSUANT TO REQUIREMENTS OF  
PENNSYLVANIA LEGISLATIVE ACT NUMBER 87 OF 2014 AS  
AMENDED BY ACT 50 OF 2017, CONTRACTORS MUST VERIFY  
LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND  
FACILITIES PRIOR TO START OF WORK.  
WWW.PA.CALLONE.COM  
#629373143

PROJECT No.: PAC220255-00-0B  
DRAWN BY: SJA / AM  
CHECKED BY: LB / SP  
DATE: 10/04/2024  
CAD ID: P-CIVL-SESC

PROJECT:  
**SUBDIVISION /  
PRELIMINARY LAND  
DEVELOPMENT  
PLANS**  
FOR  
**MAIN LINE  
HEALTH, INC.**

PROPOSED MEDICAL CENTER  
5030 HORSESHOE PIKE  
CALN TOWNSHIP  
CHESTER COUNTY, PA  
UPI 32-2-87  
D.B. 9731, PG. 2246

**BOHLER**  
1515 MARKET STREET, SUITE 920  
PHILADELPHIA, PA 19102  
Phone: (267) 402-3400  
Fax: (267) 402-3401  
www.BohlerEngineering.com

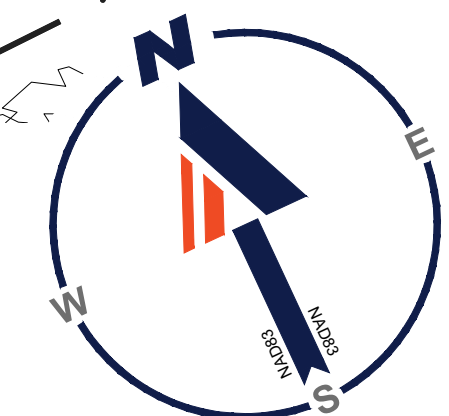


SHEET TITLE:  
**EROSION AND  
SEDIMENT  
CONTROL PLAN  
PHASE 1**

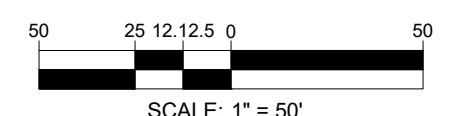
SHEET NUMBER:  
**C-802**

ORG. DATE - 10/04/2024

- NOTES:
- LIMIT OF DISTURBANCE AND PROJECT BOUNDARY LINE IS OFFSET FOR CLARITY.
  - EROSION CONTROL MATTING SHALL BE PLACED ON ANY PROPOSED SLOPES GREATER THAN 3:1.



**THIS PLAN TO BE UTILIZED FOR  
SOIL EROSION AND SEDIMENT  
CONTROL PURPOSES ONLY**



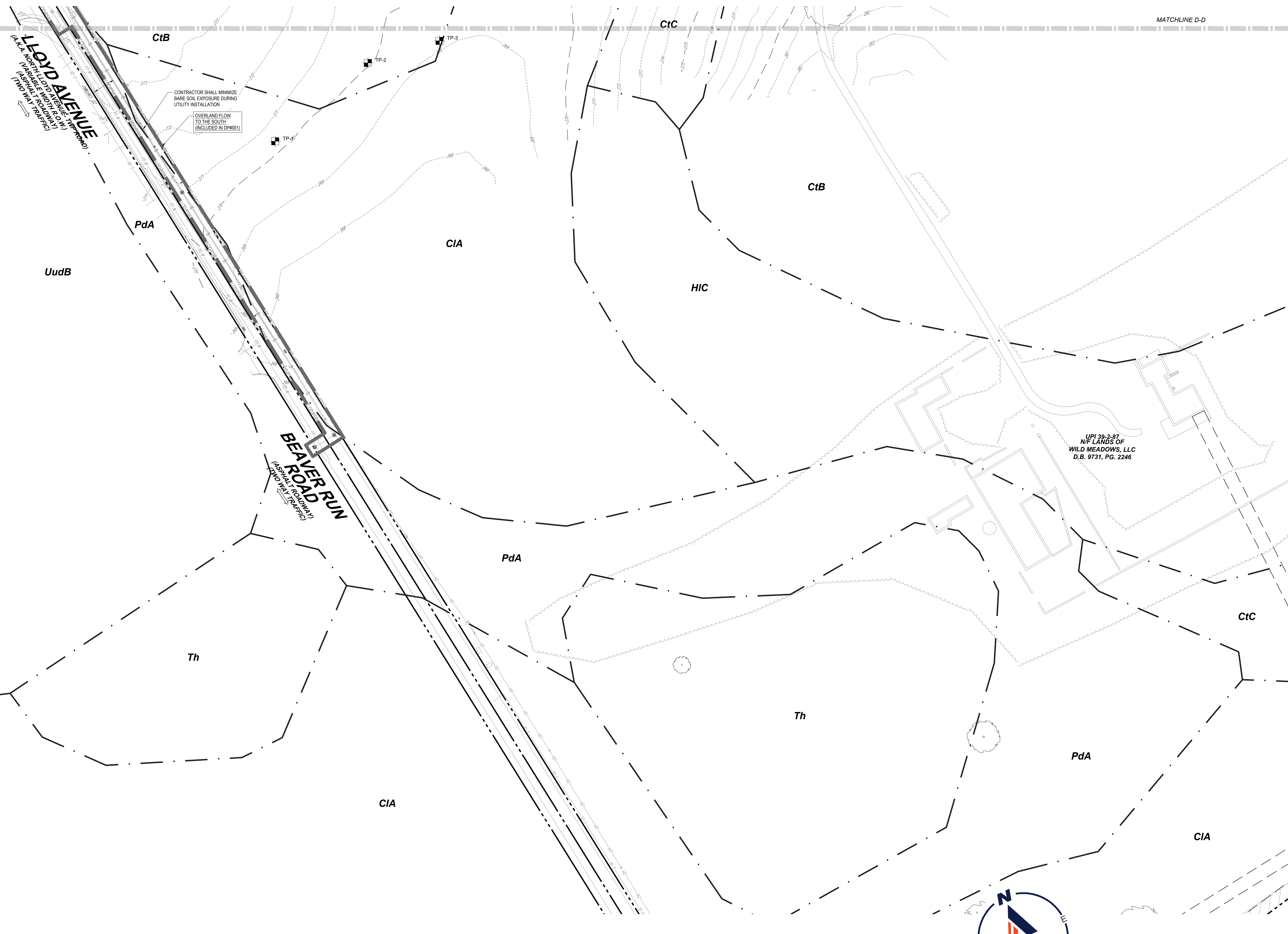
I:\BOHLER\NET\SHARES\PA\PROJECTS\2022\220255-00-0B\PA-CIVL-SESC\PROJECTS\2022\220255-00-0B-PA-CIVL-SESC\DRAWINGS\PLAN SETS\CIVIL SITE PLAN\BP-CIVL-SESC\PA-C220255-00-0B-PA-CIVL-SESC\LAYOUT: C-802.ERO1.dwg





MATCHLINE D-D

MATCHLINE D-D



CONTRACTOR SHALL MINIMIZE BARE SOIL EXPOSURE DURING UTILITY INSTALLATION

OVERLAND FLOW TO THE SOUTH (INCLUDED IN DPH001)

UPI 32-2-87 WILD MEADOWS, LLC D.B. 9731, PG. 2246



**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

ATTENTION ALL CONTRACTORS: LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 887 OF 2014 AS AMENDED BY ACT 50 OF 2017, CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK.

WWW.PHILLIPSBROS.COM  
800.337.3143

PROJECT No.: PAC220255-00-0B  
 DRAWN BY: SJA / AM  
 CHECKED BY: LB / SP  
 DATE: 10/04/2024  
 CAD ID: P-CIVL-SESC

PROJECT:  
**SUBDIVISION / PRELIMINARY LAND DEVELOPMENT PLANS**  
 FOR  
**MAIN LINE HEALTH, INC.**  
 PROPOSED MEDICAL CENTER  
 5030 HORSESHOE PIKE  
 CALN TOWNSHIP  
 CHESTER COUNTY, PA  
 UPI 32-2-87  
 D.B. 9731, PG. 2246

**BOHLER**  
 1515 MARKET STREET, SUITE 920  
 PHILADELPHIA, PA 19102  
 Phone: (267) 402-3400  
 Fax: (267) 402-3401  
 www.BohlerEngineering.com



SHEET TITLE:  
**EROSION AND SEDIMENT CONTROL PLAN PHASE 2**  
 SHEET NUMBER:  
**C-804**

ORG. DATE - 10/04/2024

**THIS PLAN TO BE UTILIZED FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY**



NOTES:

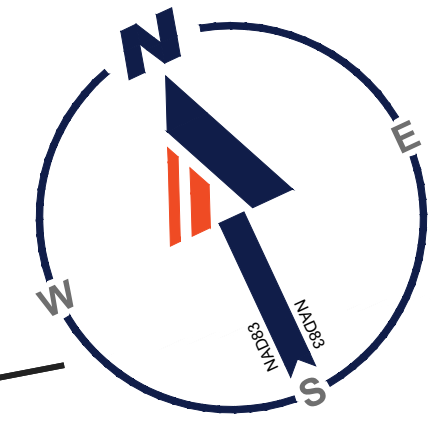
- LIMIT OF DISTURBANCE AND PROJECT BOUNDARY LINE IS OFFSET FOR CLARITY.
- EROSION CONTROL MATTING SHALL BE PLACED ON ANY PROPOSED SLOPES GREATER THAN 3:1.

I:\BOHLER\NET\SHARES\PA\PROJECTS\2022\220255-00\08-PA-JAYOUT-C-804-EROSION.DWG









# HORSESHOE PIKE

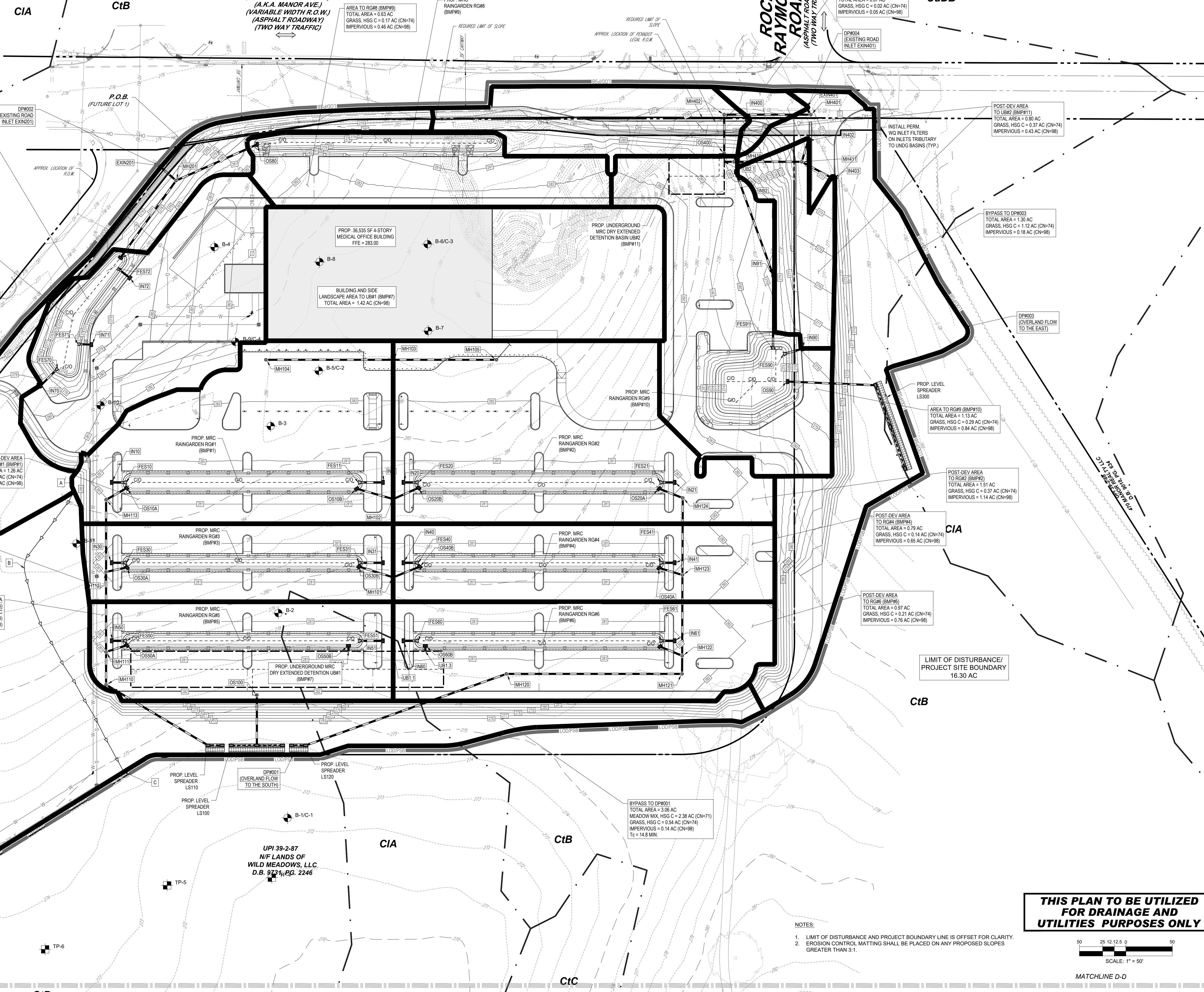
(A.K.A. STATE ROUTE 322)

(A.K.A. MANOR AVE.)

(VARIABLE WIDTH ROADWAY)

(ASPHALT ROADWAY)

(TWO WAY TRAFFIC)



**LOYD AVENUE**  
(A.K.A. NORTH LLOYD AVENUE (IMP. ROAD))  
(VARIABLE WIDTH ROADWAY)  
(ASPHALT ROADWAY)  
(TWO WAY TRAFFIC)

**ROCK RAYMOND ROAD**  
(ASPHALT ROADWAY)  
(TWO WAY TRAFFIC)

**UPI 39-2-87**  
**N/F LANDS OF**  
**WILD MEADOWS, LLC**  
**D.B. 9731, PG. 2246**  
**FUTURE**  
**LOT 1**

**UPI 39-2-87**  
**N/F LANDS OF**  
**WILD MEADOWS, LLC**  
**D.B. 9731, PG. 2246**

**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

**REVISIONS**

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WWW.PHILADELPHIA.ORG  
800.297.3143

PROJECT No.: PAC220255-00-0B  
DRAWN BY: SJA / AM  
CHECKED BY: LB / SP  
DATE: 10/04/2024  
CAD ID: P-CIVL-SESC

PROJECT: **SUBDIVISION I PRELIMINARY LAND DEVELOPMENT PLANS** FOR **MAIN LINE HEALTH, INC.**  
PROPOSED MEDICAL CENTER  
5030 HORSESHOE PIKE  
CALN TOWNSHIP  
CHESTER COUNTY, PA  
UPI 32-2-87  
D.B. 9731, PG. 2246

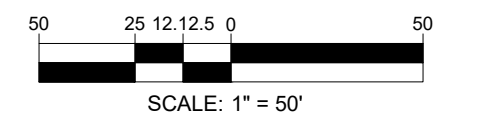
**BOHLER**  
1515 MARKET STREET, SUITE 920  
PHILADELPHIA, PA 19102  
Phone: (267) 402-3400  
Fax: (267) 402-3401  
www.BohlerEngineering.com



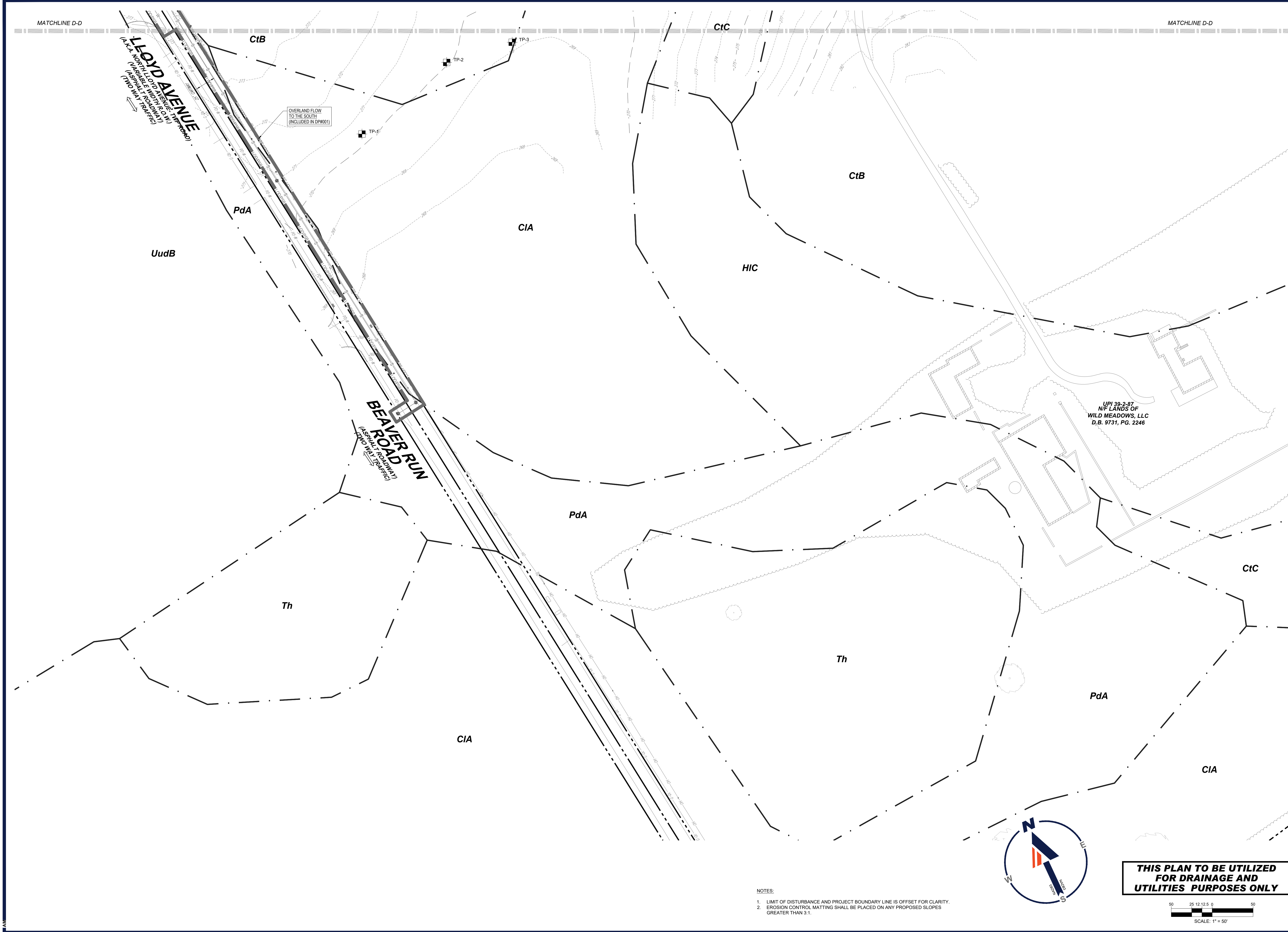
SHEET TITLE: **POST CONSTRUCTION STORMWATER MANAGEMENT PLAN**  
SHEET NUMBER: **C-810**  
ORG. DATE - 10/04/2024

**THIS PLAN TO BE UTILIZED FOR DRAINAGE AND UTILITIES PURPOSES ONLY**

- NOTES:
- LIMIT OF DISTURBANCE AND PROJECT BOUNDARY LINE IS OFFSET FOR CLARITY.
  - EROSION CONTROL MATTING SHALL BE PLACED ON ANY PROPOSED SLOPES GREATER THAN 3:1.



I:\BOHLER\NET\SHARES\PA\PROJECT\320255\AC220255\CIVL\SESC\PA220255-00-0B-1\LAYOUT - C-810.PCS



MATCHLINE D-D

MATCHLINE D-D

**LLOYD AVENUE**  
(A.K.A. NORTH LLOYD AVENUE (E.W.)  
(SOUTH LLOYD AVENUE (W.W.)  
(ASPHALT ROADWAY TRAFFIC)  
(TWO WAY TRAFFIC)

OVERLAND FLOW  
TO THE SOUTH  
(INCLUDED IN DPH001)

**BEAVER ROAD RUN**  
(ASPHALT ROADWAY TRAFFIC)  
(TWO WAY TRAFFIC)

UPI 32-2-87  
N/F LANDS OF  
WILD MEADOWS, LLC  
D.B. 9731, PG. 2246



**THIS PLAN TO BE UTILIZED  
FOR DRAINAGE AND  
UTILITIES PURPOSES ONLY**

50 25 12.5 0  
SCALE: 1" = 50'

- NOTES:
1. LIMIT OF DISTURBANCE AND PROJECT BOUNDARY LINE IS OFFSET FOR CLARITY.
  2. EROSION CONTROL MATTING SHALL BE PLACED ON ANY PROPOSED SLOPES GREATER THAN 3:1.

**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

ATTENTION ALL CONTRACTORS:  
LOCATIONS OF ALL EXISTING  
UTILITIES SHOWN HEREON HAVE  
BEEN DEVELOPED FROM UTILITY  
COMPANY RECORDS AND/OR  
AUGUST GROUND INSPECTION OF THE  
SITE. COMPLETENESS OR  
ACCURACY OF TYPE, SIZE, DEPTH  
OR HORIZONTAL LOCATION OF  
UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE  
GUARANTEED. PURSUANT TO REQUIREMENTS OF  
PENNSYLVANIA LEGISLATIVE ACT NUMBER 87 OF 2014 AS  
AMENDED BY ACT 50 OF 2017, CONTRACTORS MUST VERIFY  
LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND  
FACILITIES PRIOR TO START OF WORK.  
WWW.PH.CALL.ORG  
#6103373143

PROJECT No.: PAC220255.00-0B  
DRAWN BY: SJA / AM  
CHECKED BY: LB / SP  
DATE: 10/04/2024  
CAD ID: P-CIVL-SESC

PROJECT:  
**SUBDIVISION I  
PRELIMINARY LAND  
DEVELOPMENT  
PLANS**  
FOR  
**MAIN LINE  
HEALTH, INC.**  
PROPOSED MEDICAL CENTER  
5030 HORSESHOE PIKE  
CALN TOWNSHIP  
CHESTER COUNTY, PA  
UPI 32-2-87  
D.B. 9731, PG. 2246

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1515 MARKET STREET, SUITE 920  
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Fax: (267) 402-3401  
www.BohlerEngineering.com



SHEET TITLE:  
**POST  
CONSTRUCTION  
STORMWATER  
MANAGEMENT  
PLAN**  
SHEET NUMBER:  
**C-811**  
ORG. DATE - 10/04/2024







**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY



PROJECT No.: PAC220255-00-0B  
 DRAWN BY: SJA / AM  
 CHECKED BY: LB / SP  
 DATE: 10/04/2024  
 CAD BY: P-CIVIL-CNDS

**SUBDIVISION I  
 PRELIMINARY LAND  
 DEVELOPMENT  
 PLANS**

FOR

**MAIN LINE  
 HEALTH, INC.**

PROPOSED MEDICAL CENTER

5030 HORSESHOE PIKE  
 CALN TOWNSHIP  
 CHESTER COUNTY, PA  
 UPI 32-2-87  
 D.B. 9731, PG. 2246

**BOHLER**

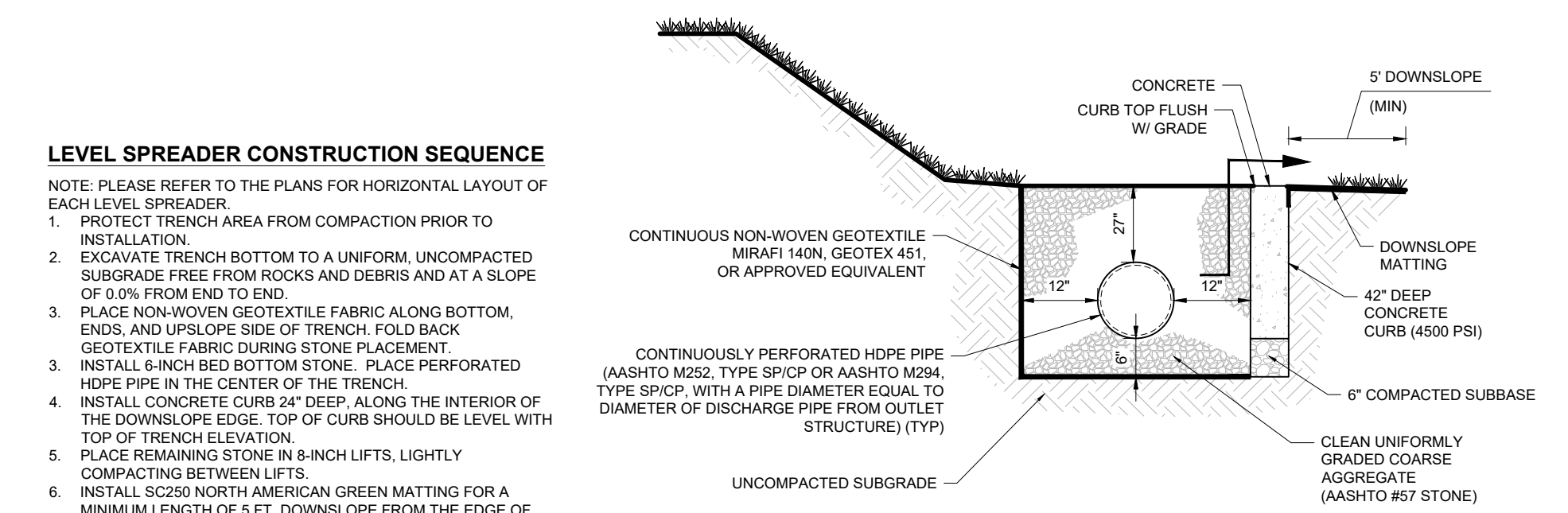
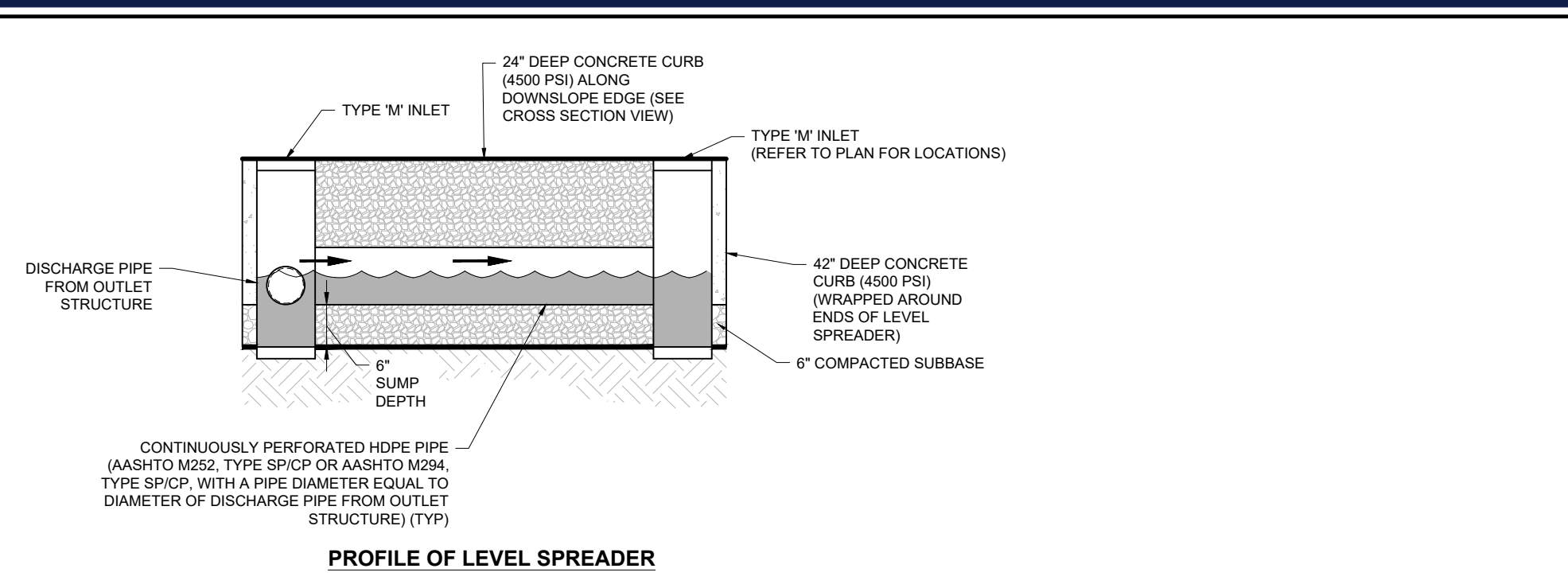
1515 MARKET STREET, SUITE 920  
 PHILADELPHIA, PA 19102  
 Phone: (267) 402-3400  
 Fax: (267) 402-3401  
 www.BohlerEngineering.com



SHEET TITLE:  
**POST  
 CONSTRUCTION  
 STORMWATER  
 MANAGEMENT  
 NOTES AND DETAILS**

SHEET NUMBER:  
**C-814**

ORG. DATE - 10/04/2024

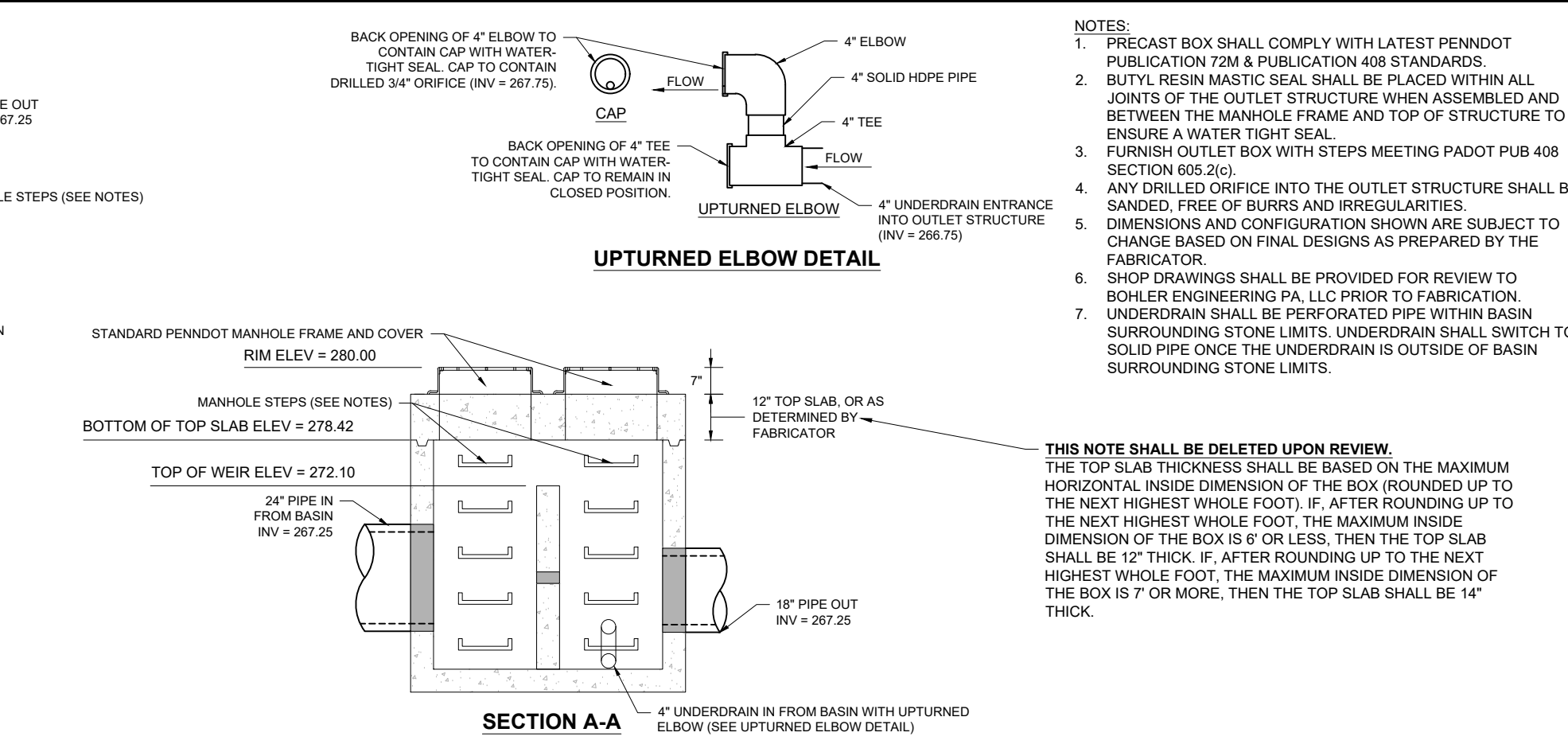


**CROSS SECTION OF LEVEL SPREADER**

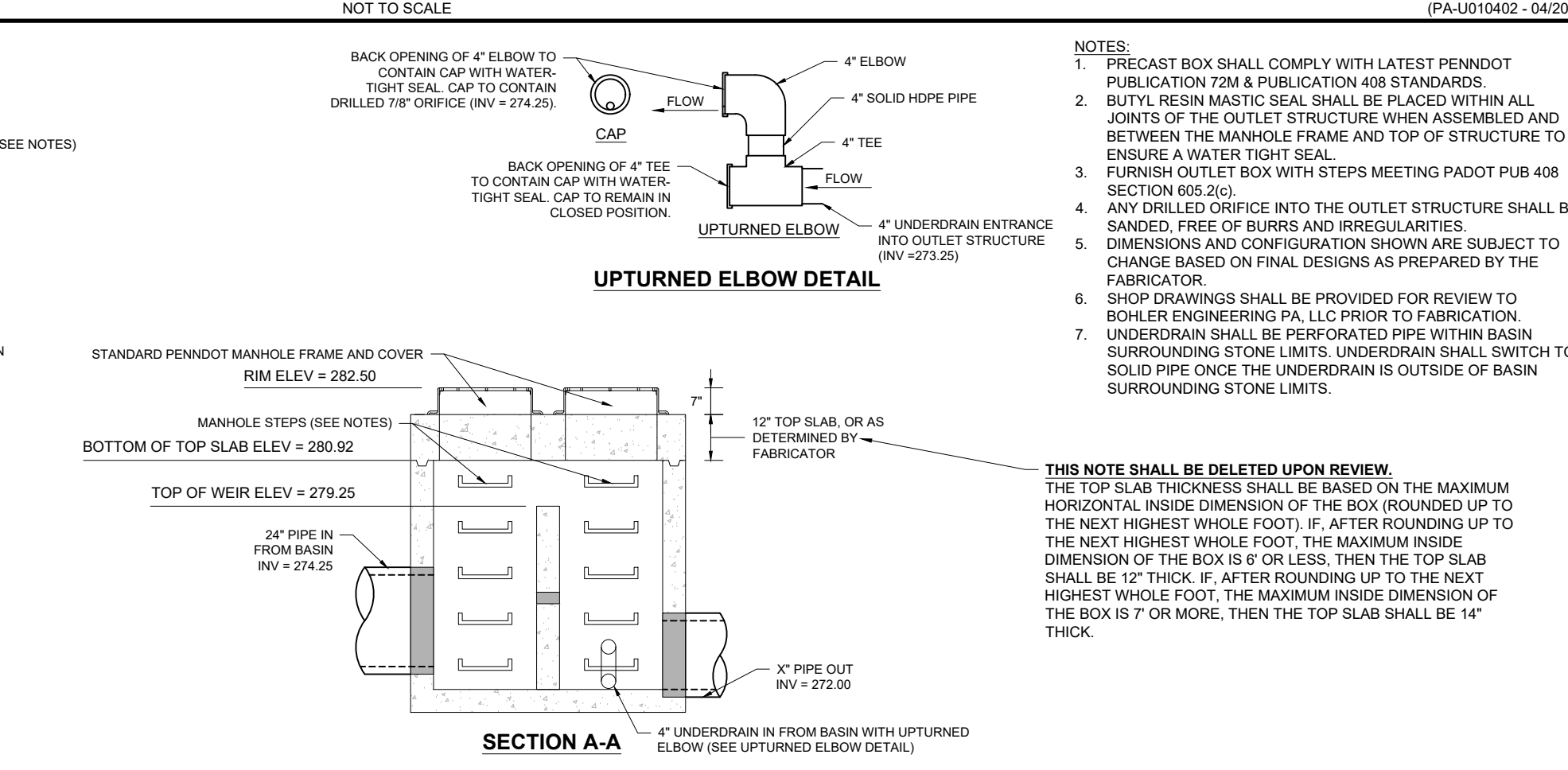
LEVEL SPREADER NUMBER	DISCHARGE BMP	TOP OF CURB ELEVATION (FEET)	BOTTOM OF STONE ELEVATION (FEET)	OVERALL LENGTH OF LEVEL SPREADER (FEET)	GRATE ELEVATION (FEET)	INLET SUMP ELEVATION (FEET)	PERFORATED HDPE PIPE DIA (FEET)	PERFORATED HDPE PIPE INV (FEET)
Ls100	UNDERGROUND MRC BASIN	274.00	270.00	60	274.00	270.00	15"	270.50
Ls110	ABOVE GROUND MRC RANGARDENS	274.00	270.00	20	274.00	270.00	15"	270.50
Ls120	ABOVE GROUND MRC RANGARDENS	274.00	270.00	20	274.00	270.00	15"	270.50
Ls300	RGP (BMP#10)	270	266.00	100	270.00	266.00	15"	266.50

\* CONTRACTOR MUST ENSURE CONCRETE TOP OF CURB IS CONSTRUCTED LEVEL FOR ENTIRE LENGTH. MAXIMUM SLOPE DEVIATION = 0.05% (0.25 IN/4 FT.)

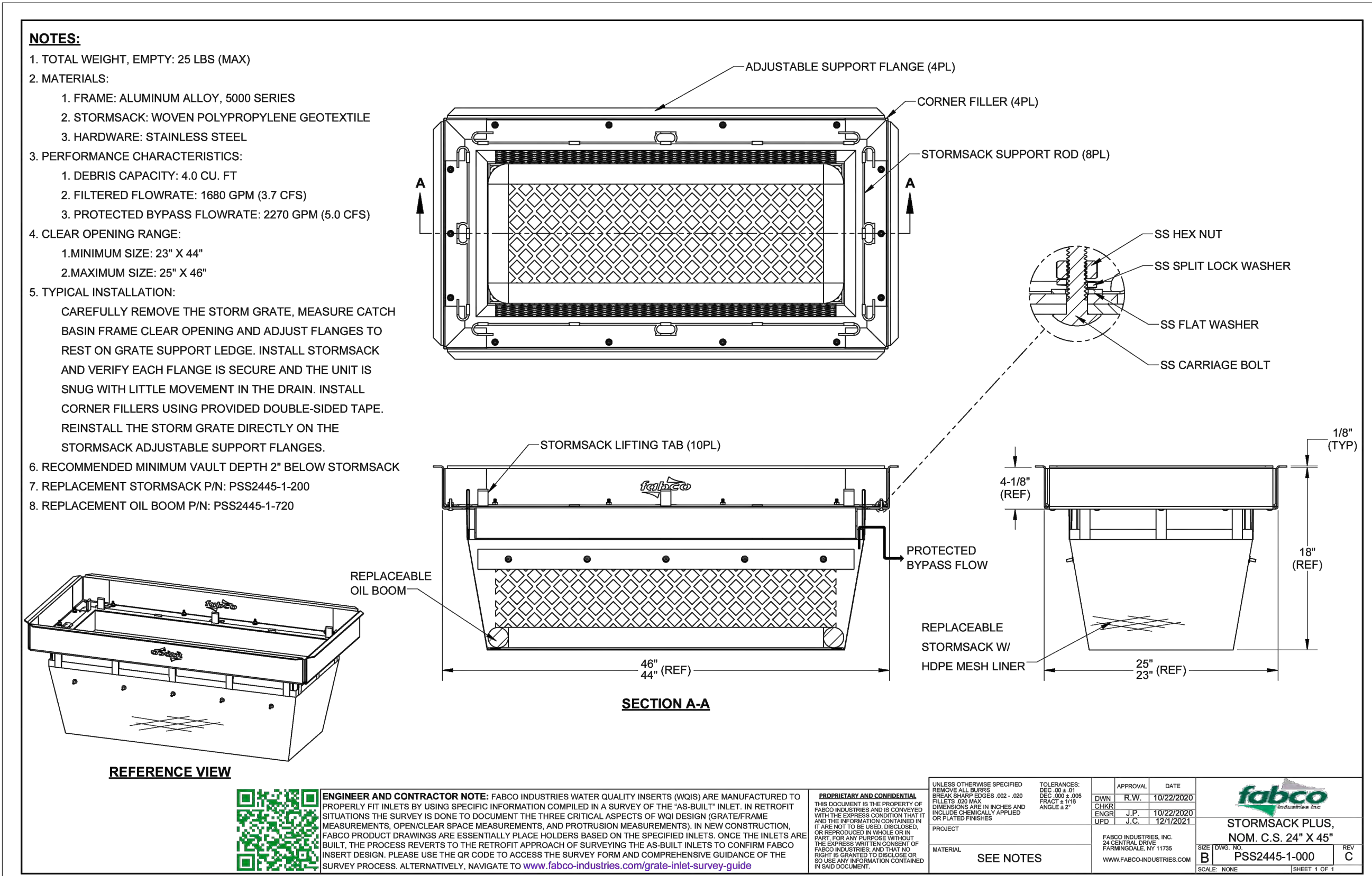
**LEVEL SPREADER**  
 NOT TO SCALE (PA-U019816 - 02/2024)



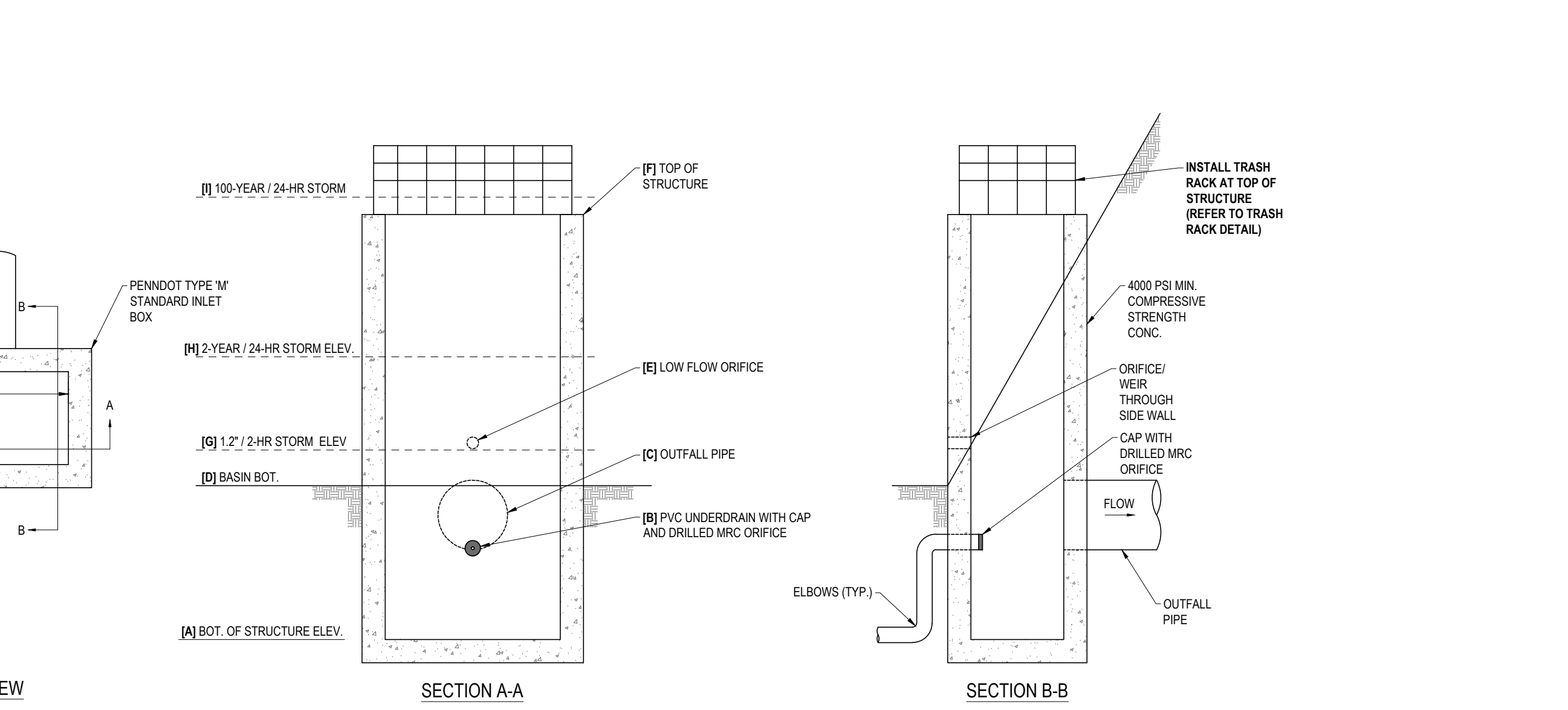
**UNDERGROUND MRC BASIN OUTLET CONTROL STRUCTURE UB#2**  
 NOT TO SCALE (PA-U010402 - 04/2024)



**UNDERGROUND MRC BASIN OUTLET CONTROL STRUCTURE - UB#1**  
 NOT TO SCALE (PA-U010402 - 04/2024)



OUTFLOW STRUCTURE NUMBER	[A] BOTTOM OF STRUCTURE ELEVATION [FT]	[B] PVC DIAMETER [IN]	[C] DRILLED ORIFICE SIZE [IN]	[D] INVERT [FT]	[E] DIAMETER [IN]	[F] INVERT [FT]	[G] ELEVATION [FT]	[H] DIAMETER [IN]	[I] INVERT [FT]	[J] GRATE ELEVATION [FT]	[K] ELEVATION [FT]	[L] ELEVATION [FT]	[M] ELEVATION [FT]
OS7	271.50	4"	5/8"	272.50	18"	272.50	274.00	3"	274.50	275.50	274.41	275.39	275.89
OS8	275.25	4"	5/8"	276.25	18"	276.25	277.75	4"	278.33	279.75	277.64	278.46	279.61
OS9	271.50	4"	5/8"	272.50	18"	268.50	274.00	6"	274.65	276.00	274.56	275.48	276.39



**RAINGARDEN OUTFLOW STRUCTURE DETAILS - NO TOP PIECE**  
 NOT TO SCALE (PA-U019812 - 02/2024)

I:\BOHLER\NET\SHARES\PA\PROJECTS\2025\PA-CIVIL-CDNS-PAC220255-00-0B-3-A\JAVOUT: C-814.PSD  
 BOHLER ENGINEERING INC. PROJECT: 2025\PA-CIVIL-CDNS-PAC220255-00-0B-3-A\JAVOUT: C-814.PSD





I:\BOHLER\NET\SHARES\PA\PROJECTS\2025\AC220255\AC220255.MXD\DRAWINGS\PLAN SETS\CIVIL SITE PLAN\BP-CIVL-CNDS-PAC220255-00-0B---J-LAYOUT: C-817.PCS0

BOHLER ENGINEERING  
CONSULTING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES



**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

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WWW.PHILCALL.ORG  
800.237.3143

PROJECT No.: PAC220255-00-0B  
DRAWN BY: SJA / AM  
CHECKED BY: LB / SP  
DATE: 10/04/2024  
CAD ID: P-CIVL-CNDS

**PROJECT:**  
**SUBDIVISION / PRELIMINARY LAND DEVELOPMENT PLANS**  
FOR

**MAIN LINE HEALTH, INC.**

PROPOSED MEDICAL CENTER  
5030 HORSESHOE PIKE  
CALN TOWNSHIP  
CHESTER COUNTY, PA  
UPI 32-2-87  
D.B. 9731, PG. 2246


**BOHLER**  
1515 MARKET STREET, SUITE 920  
PHILADELPHIA, PA 19102  
Phone: (267) 402-3400  
Fax: (267) 402-3401  
www.BohlerEngineering.com



SHEET TITLE:  
**POST CONSTRUCTION STORMWATER MANAGEMENT NOTES AND DETAILS**

SHEET NUMBER:  
**C-817**

ORG. DATE - 10/04/2024



1267 WINDHAM PARKWAY  
ROSEMOUNT, IL 60446  
PH: 815-941-4549 / F: 331-318-5347

**ENGINEER INFORMATION:**  
BOHLER ENGINEERING  
1515 MARKET STREET  
SUITE 920  
PHILADELPHIA, PA  
267-402-3400

**PROJECT INFORMATION:**

CURRENT ISSUE DATE:

ISSUED FOR:  
PRELIMINARY

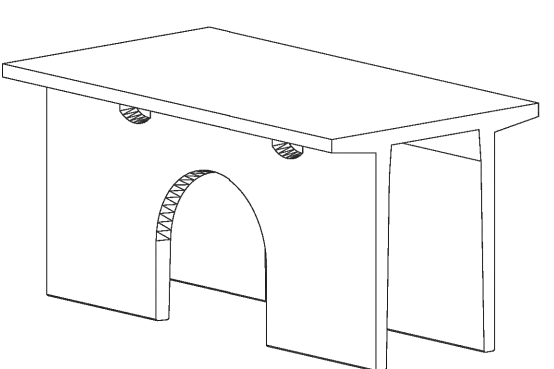
REV	DATE	ISSUED FOR:	DWN BY:

SCALE:  
NTS

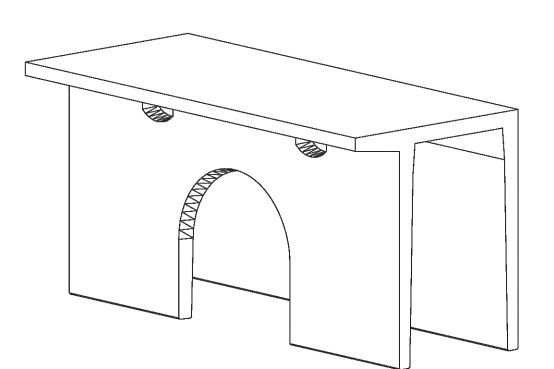
SHEET TITLE:  
SINGLETRAP  
MODULE TYPES

SHEET NUMBER:  
**7.0**

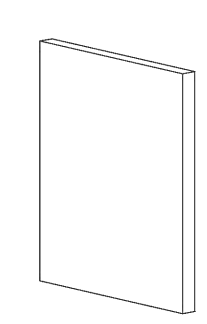
**NOTE: THESE MANUFACTURER DRAWINGS ARE NOT SPECIFIC TO THIS PROJECT AND HAVE BEEN INCLUDED TO SERVE AS A GRAPHICAL REPRESENTATION OF EACH UNDERGROUND BASIN'S CURRENT DESIGN ONLY. PROJECT SPECIFIC MANUFACTURER DETAILS SHALL BE INCLUDED AT A LATER DATE.**



TYPE II



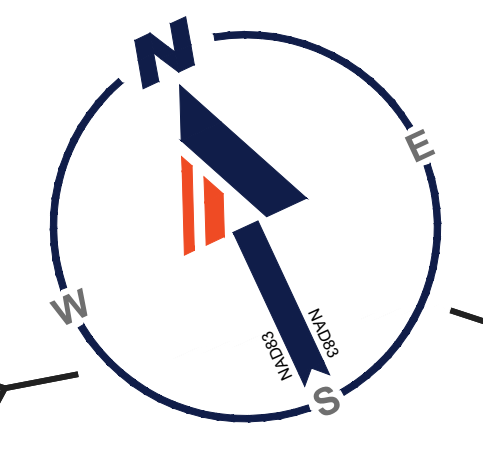
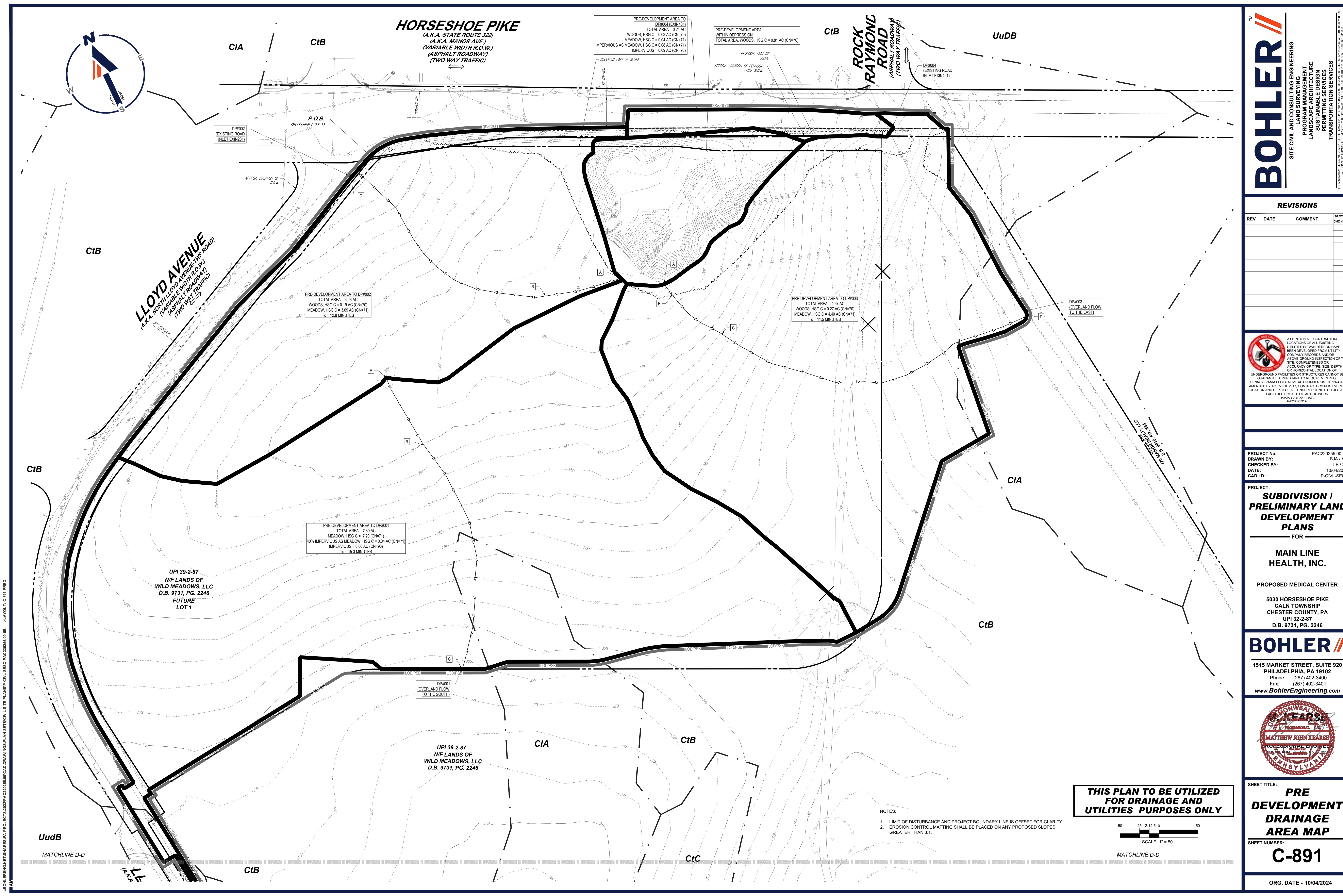
TYPE IV



TYPE IV  
END PANEL

**NOTES:**

1. OPENING LOCATIONS AND SHAPES MAY VARY.
2. SP - INDICATES A MODULE WITH MODIFICATIONS.
3. P - INDICATES A MODULE WITH A PANEL ATTACHMENT.
4. POCKET WINDOW OPENINGS ARE OPTIONAL.



**HORSESHOE PIKE**  
(A.K.A. STATE ROUTE 322)  
(A.K.A. MANOR AVE.)  
(VARIABLE WIDTH R.O.W.)  
(ASPHALT ROADWAY)  
(TWO WAY TRAFFIC)

**LLOYD AVENUE**  
(VARIABLE WIDTH R.O.W.)  
(ASPHALT ROADWAY)  
(TWO WAY TRAFFIC)

**ROCK RAYMOND ROAD**  
(ASPHALT ROADWAY)  
(TWO WAY TRAFFIC)

UPI 39-2-87  
N/F LANDS OF  
WILD MEADOWS, LLC  
D.B. 9731, PG. 2246  
FUTURE  
LOT 1

UPI 39-2-87  
N/F LANDS OF  
WILD MEADOWS, LLC  
D.B. 9731, PG. 2246

PRE-DEVELOPMENT AREA TO DP#004 (EXHIBIT)  
TOTAL AREA = 0.24 AC  
WOODS, HSG C = 0.03 AC (CN#70)  
MEADOW, HSG C = 0.04 AC (CN#71)  
IMPERVIOUS AS MEADOW, HSG C = 0.08 AC (CN#71)  
IMPERVIOUS = 0.09 AC (CN#98)

PRE-DEVELOPMENT AREA WITHIN DEPRESSION  
TOTAL AREA, WOODS, HSG C = 0.81 AC (CN#70)

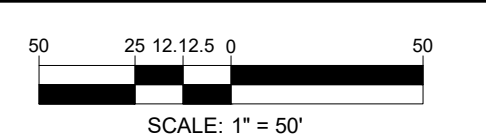
PRE-DEVELOPMENT AREA TO DP#002  
TOTAL AREA = 3.28 AC  
WOODS, HSG C = 0.19 AC (CN#70)  
MEADOW, HSG C = 3.09 AC (CN#71)  
Tc = 12.8 MINUTES

PRE-DEVELOPMENT AREA TO DP#003  
TOTAL AREA = 4.67 AC  
WOODS, HSG C = 0.27 AC (CN#70)  
MEADOW, HSG C = 4.40 AC (CN#71)  
Tc = 11.5 MINUTES

PRE-DEVELOPMENT AREA TO DP#001  
TOTAL AREA = 7.30 AC  
MEADOW, HSG C = 7.20 (CN#71)  
40% IMPERVIOUS AS MEADOW, HSG C = 0.04 AC (CN#71)  
IMPERVIOUS = 0.06 AC (CN#98)  
Tc = 19.3 MINUTES

- NOTES:
1. LIMIT OF DISTURBANCE AND PROJECT BOUNDARY LINE IS OFFSET FOR CLARITY.
  2. EROSION CONTROL MATTING SHALL BE PLACED ON ANY PROPOSED SLOPES GREATER THAN 3:1.

**THIS PLAN TO BE UTILIZED FOR DRAINAGE AND UTILITIES PURPOSES ONLY**



**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY

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WWW.PHILADELPHIA.PA.GOV  
215.576.3343

PROJECT No.: PAC220255-00-0B  
DRAWN BY: SJA / AM  
CHECKED BY: LB / SP  
DATE: 10/04/2024  
CAD ID: P-CIVL-SESC

**SUBDIVISION / PRELIMINARY LAND DEVELOPMENT PLANS**

FOR  
**MAIN LINE HEALTH, INC.**

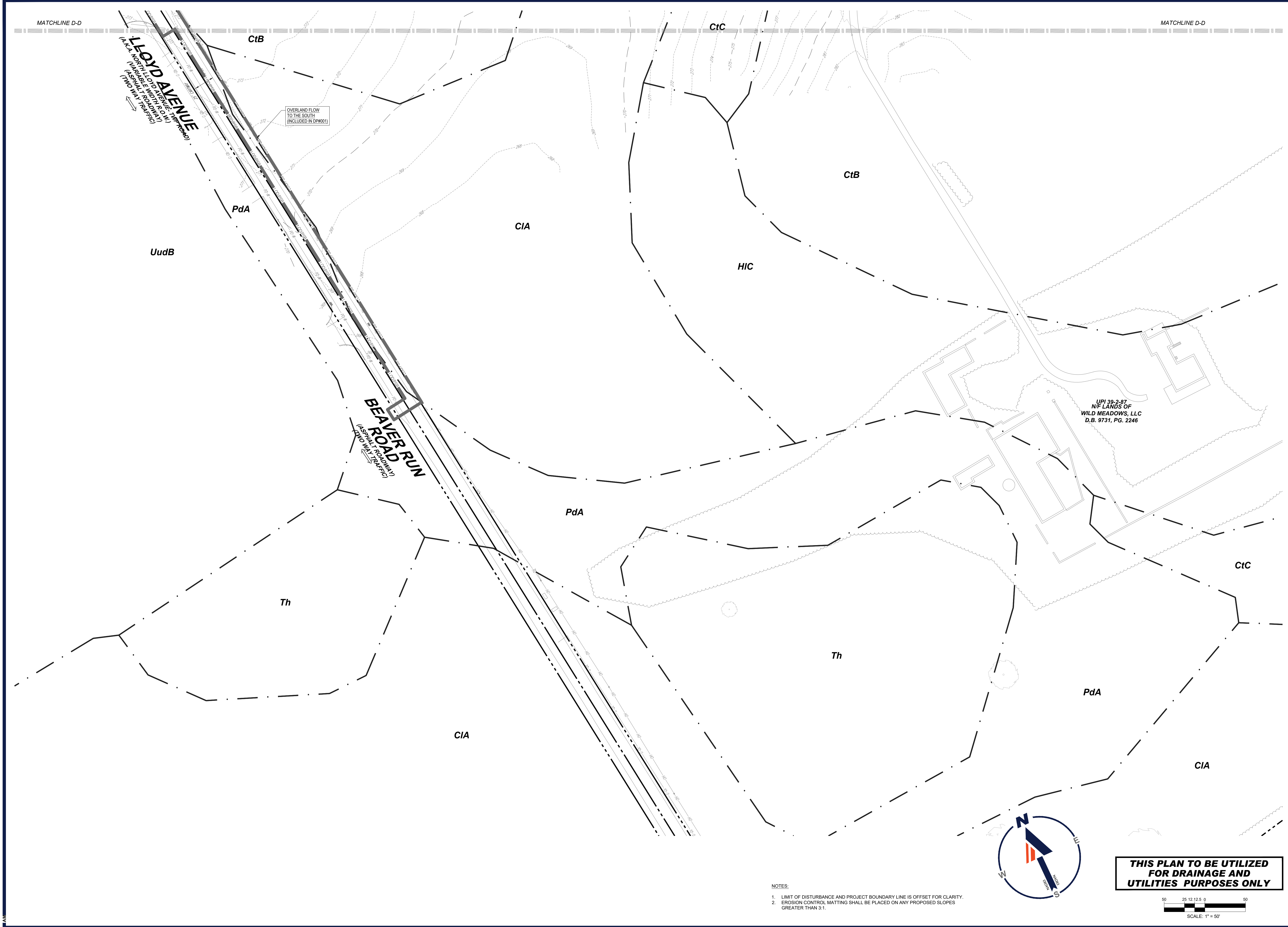
PROPOSED MEDICAL CENTER  
5030 HORSESHOE PIKE  
CALN TOWNSHIP  
CHESTER COUNTY, PA  
UPI 32-2-87  
D.B. 9731, PG. 2246

**BOHLER**  
1515 MARKET STREET, SUITE 920  
PHILADELPHIA, PA 19102  
Phone: (267) 402-3400  
Fax: (267) 402-3401  
www.BohlerEngineering.com

SHEET TITLE:  
**PRE DEVELOPMENT DRAINAGE AREA MAP**

SHEET NUMBER:  
**C-891**

ORG. DATE - 10/04/2024



LLOYD AVENUE  
(A.K.A. NORTH LLOYD AVENUE (E.W.),  
NORTH LLOYD AVENUE (S.W.),  
(ASPHALT ROADWAY TRAFFIC)  
(TWO WAY TRAFFIC)

OVERLAND FLOW  
TO THE SOUTH  
(INCLUDED IN DPH001)

BEAVER ROAD RUN  
(ASPHALT ROADWAY TRAFFIC)  
(TWO WAY TRAFFIC)


UPI 32-2-87  
N/F LANDS OF  
WILD MEADOWS, LLC  
D.B. 9731, PG. 2246

BOHLER ENGINEERING SERVICES/PA PROJECT/32022/PAC220225/5.00/08/24--LAYOUT: C-892.PRED



**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

 ATTENTION ALL CONTRACTORS:  
LOCATIONS OF ALL EXISTING  
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COMPANY RECORDS AND/OR  
AUGER-PROBE INSPECTION OF THE  
SITE. COMPLETENESS OR  
ACCURACY OF TYPE, SIZE, DEPTH  
OR HORIZONTAL LOCATION OF  
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GUARANTEED. PURSUANT TO REQUIREMENTS OF  
PENNSYLVANIA LEGISLATIVE ACT NUMBER 507 OF 2014 AS  
AMENDED BY ACT 50 OF 2017, CONTRACTORS MUST VERIFY  
LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND  
FACILITIES PRIOR TO START OF WORK.  
WWW.PH.CALL.ORG  
#202373143

PROJECT No.: PAC2202255.00-08  
DRAWN BY: SJA / AM  
CHECKED BY: LB / SP  
DATE: 10/04/2024  
CAD ID: P-CIVL-SESC

**SUBDIVISION / PRELIMINARY LAND DEVELOPMENT PLANS FOR**

**MAIN LINE HEALTH, INC.**

PROPOSED MEDICAL CENTER  
5030 HORSESHOE PIKE  
CALN TOWNSHIP  
CHESTER COUNTY, PA  
UPI 32-2-87  
D.B. 9731, PG. 2246

**BOHLER**  
1515 MARKET STREET, SUITE 920  
PHILADELPHIA, PA 19102  
Phone: (267) 402-3400  
Fax: (267) 402-3401  
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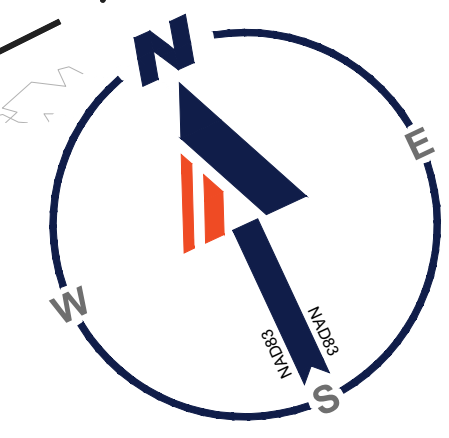
SHEET TITLE:  
**PRE DEVELOPMENT DRAINAGE AREA MAP**

SHEET NUMBER:  
**C-892**

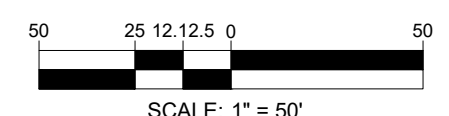
ORG. DATE - 10/04/2024

NOTES:

1. LIMIT OF DISTURBANCE AND PROJECT BOUNDARY LINE IS OFFSET FOR CLARITY.
2. EROSION CONTROL MATTING SHALL BE PLACED ON ANY PROPOSED SLOPES GREATER THAN 3:1.



**THIS PLAN TO BE UTILIZED FOR DRAINAGE AND UTILITIES PURPOSES ONLY**



SCALE: 1" = 50'



MATCHLINE D-D

MATCHLINE D-D

**LLOYD AVENUE**  
(A.K.A. NORTH LLOYD AVENUE (E. W.)  
(SOUTH LLOYD AVENUE (W. W.)  
(ASPHALT ROADWAY)  
(TWO WAY TRAFFIC)

OVERLAND FLOW  
TO THE SOUTH  
(INCLUDED IN DPH001)

UudB

PdA

CIA

CtC

CtB

HIC

**BEAVER ROAD RUN**  
(ASPHALT ROADWAY)  
(TWO WAY TRAFFIC)

PdA

UPI 39-2-87  
N/F LANDS OF  
WILD MEADOWS, LLC  
D.B. 9731, PG. 2246

Th

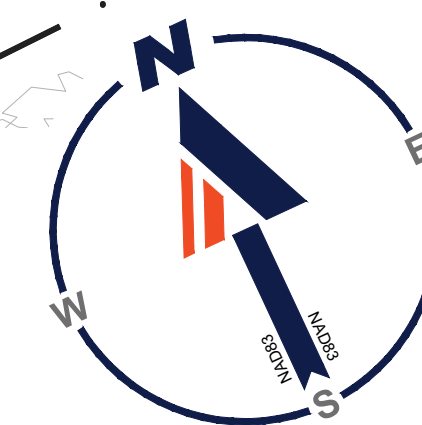
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CtC

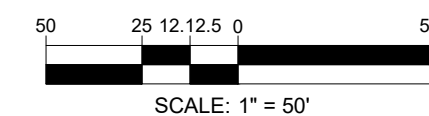
PdA

CIA

CIA



**THIS PLAN TO BE UTILIZED  
FOR DRAINAGE AND  
UTILITIES PURPOSES ONLY**



SCALE: 1" = 50'

**NOTES:**

1. LIMIT OF DISTURBANCE AND PROJECT BOUNDARY LINE IS OFFSET FOR CLARITY.
2. EROSION CONTROL MATTING SHALL BE PLACED ON ANY PROPOSED SLOPES GREATER THAN 3:1.

**BOHLER**  
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PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

ATTENTION ALL CONTRACTORS:  
LOCATIONS OF ALL EXISTING  
UTILITIES SHOWN HEREON HAVE  
BEEN DEVELOPED FROM UTILITY  
COMPANY RECORDS AND/OR  
SURFACE INSPECTION OF THE  
SITE. COMPLETENESS OR  
ACCURACY OF TYPE, SIZE, DEPTH  
OR HORIZONTAL LOCATION OF  
UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE  
GUARANTEED. PURSUANT TO REQUIREMENTS OF  
PENNSYLVANIA LEGISLATIVE ACT NUMBER 887 OF 2014 AS  
AMENDED BY ACT 50 OF 2017, CONTRACTORS MUST VERIFY  
LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND  
FACILITIES PRIOR TO START OF WORK.  
WWW.PH.CALL.ORG  
#202373143

PROJECT No.: PAC220255-00-0B  
DRAWN BY: SJA / AM  
CHECKED BY: LB / SP  
DATE: 10/04/2024  
CAD ID: P-CIVL-SESC

PROJECT:  
**SUBDIVISION I  
PRELIMINARY LAND  
DEVELOPMENT  
PLANS**  
FOR  
**MAIN LINE  
HEALTH, INC.**  
  
PROPOSED MEDICAL CENTER  
  
5030 HORSESHOE PIKE  
CALN TOWNSHIP  
CHESTER COUNTY, PA  
UPI 32-2-87  
D.B. 9731, PG. 2246

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PHILADELPHIA, PA 19102  
Phone: (267) 402-3400  
Fax: (267) 402-3401  
www.BohlerEngineering.com



SHEET TITLE:  
**POST  
DEVELOPMENT  
DRAINAGE  
AREA MAP**

SHEET NUMBER:  
**C-894**

ORG. DATE - 10/04/2024

BOHLER ENGINEERING SERVICES / PA PROJECT 202255 / PAC220255-00-0B / LAYOUT: C-894 / PSTD





# HORSESHOE PIKE

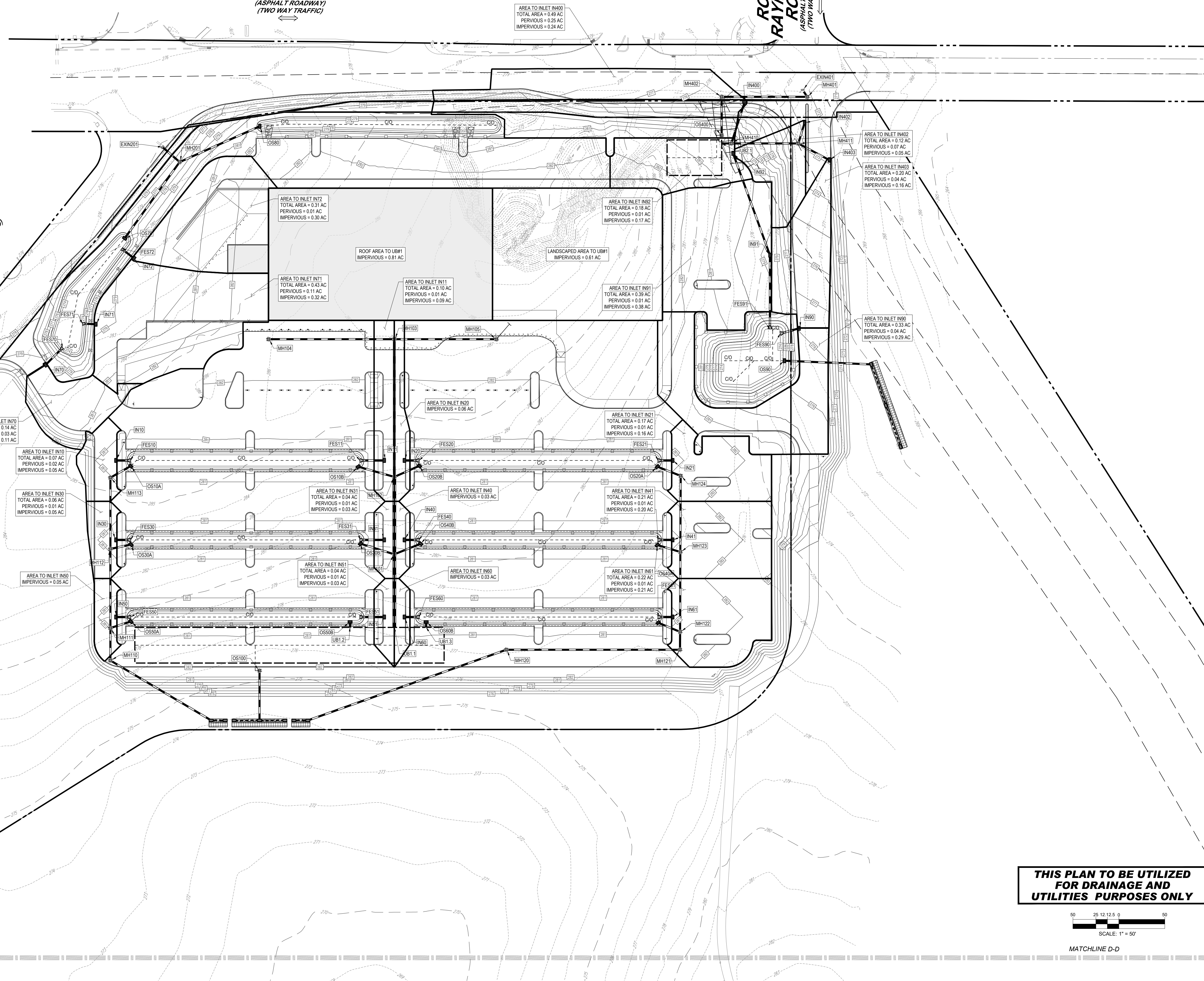
(A.K.A. STATE ROUTE 322)  
(A.K.A. MANOR AVE.)  
(VARIABLE WIDTH R.O.W.)  
(ASPHALT ROADWAY)  
(TWO WAY TRAFFIC)

# ROCK RAYMOND ROAD

(ASPHALT ROADWAY)  
(TWO WAY TRAFFIC)

# LLOYD AVENUE

(A.K.A. NORTH LLOYD AVENUE (IMP ROAD))  
(VARIABLE WIDTH R.O.W.)  
(ASPHALT ROADWAY)  
(TWO WAY TRAFFIC)



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**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

ATTENTION ALL CONTRACTORS: LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 897 OF 2014 AS AMENDED BY ACT 50 OF 2017, CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK.  
WWW.PH.CALLING.COM  
#629373143

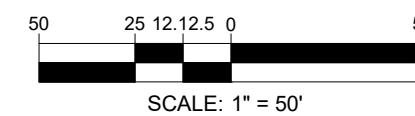
PROJECT No.: PAC220255-00-0B  
DRAWN BY: SJA / AM  
CHECKED BY: LB / SP  
DATE: 10/04/2024  
CAD ID: P-CIVL-SESC

PROJECT:  
**SUBDIVISION / PRELIMINARY LAND DEVELOPMENT PLANS**  
FOR  
**MAIN LINE HEALTH, INC.**  
PROPOSED MEDICAL CENTER  
5030 HORSESHOE PIKE  
CALN TOWNSHIP  
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**THIS PLAN TO BE UTILIZED FOR DRAINAGE AND UTILITIES PURPOSES ONLY**



SCALE: 1" = 50'

SHEET TITLE:  
**INLET DRAINAGE AREAS MAP**

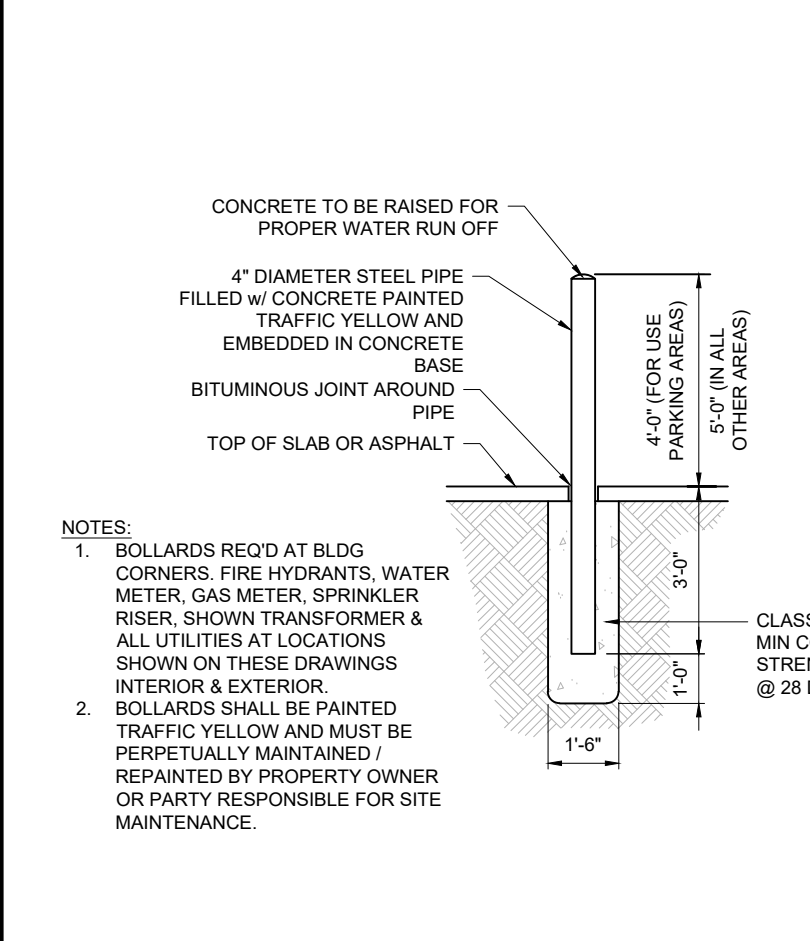
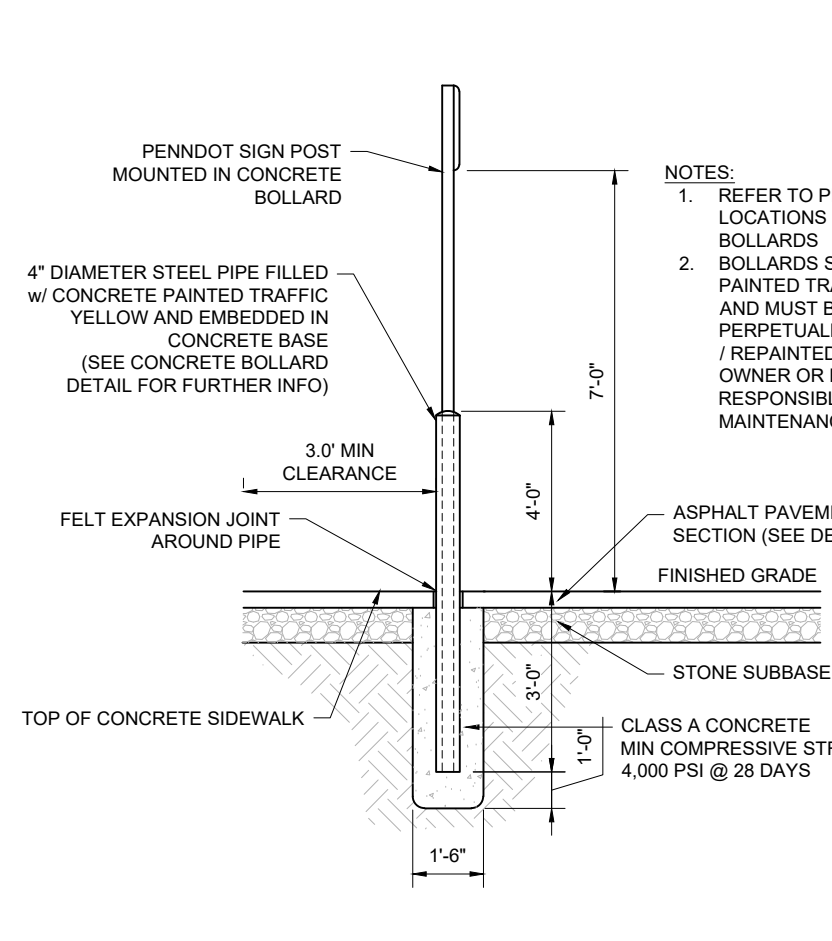
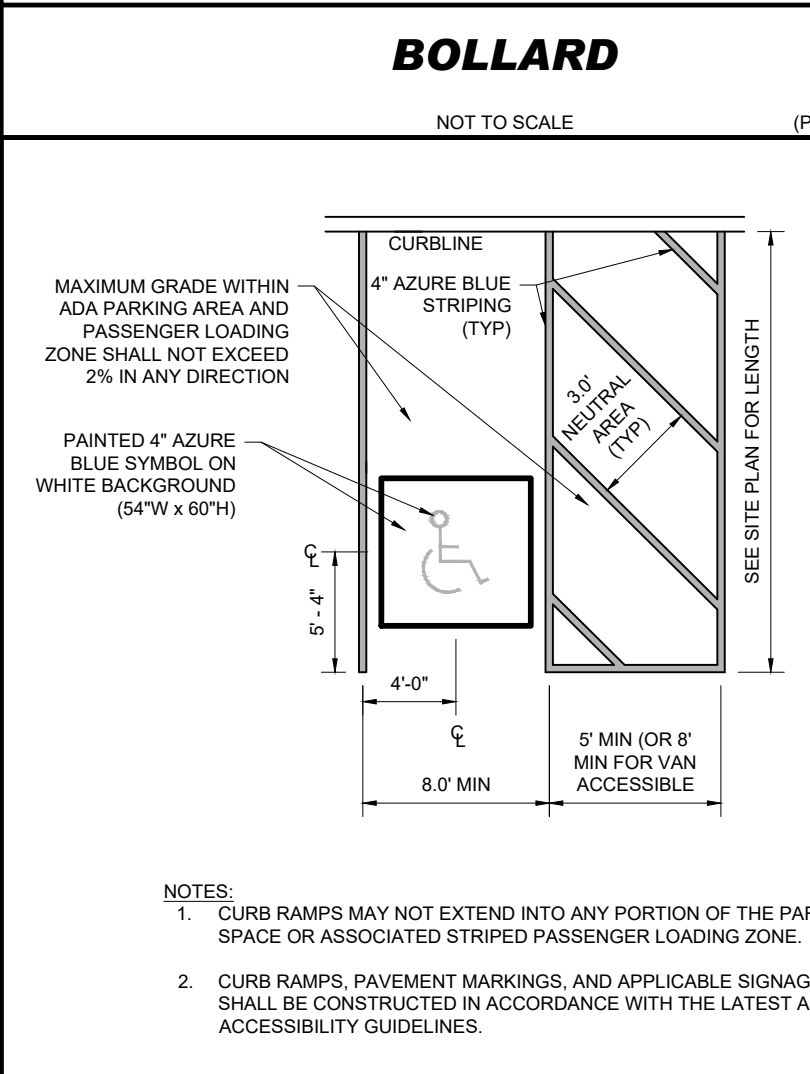
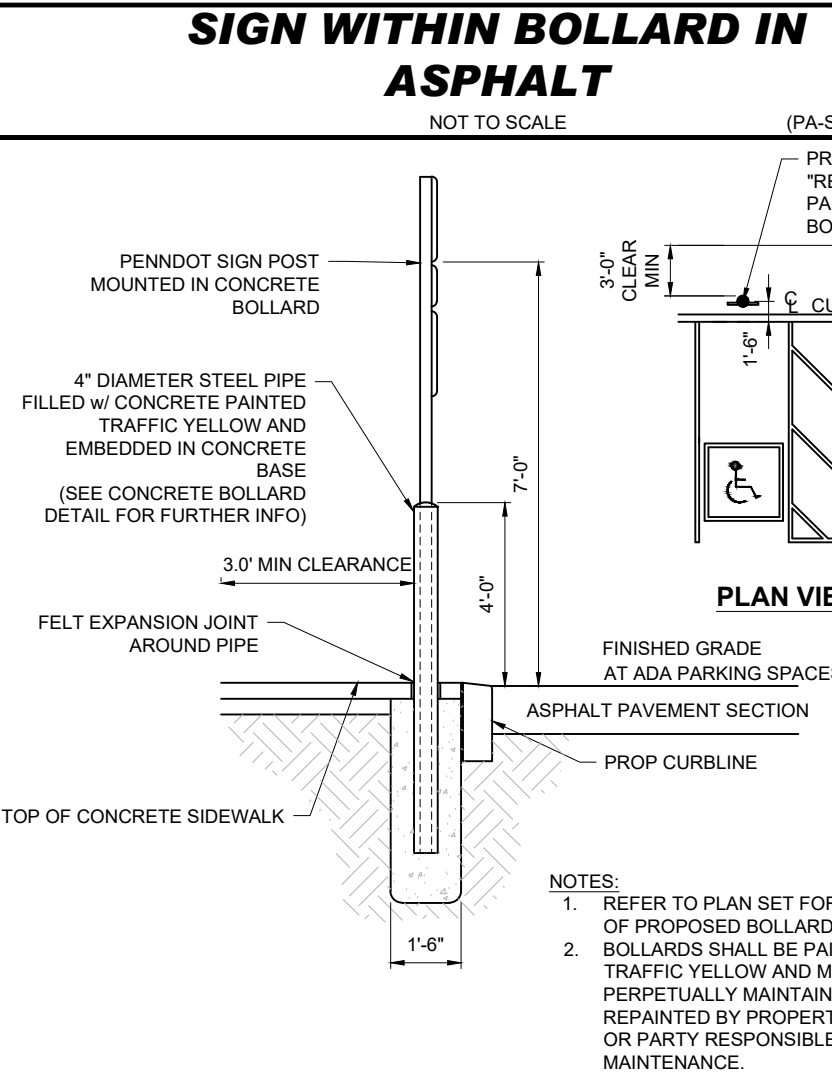
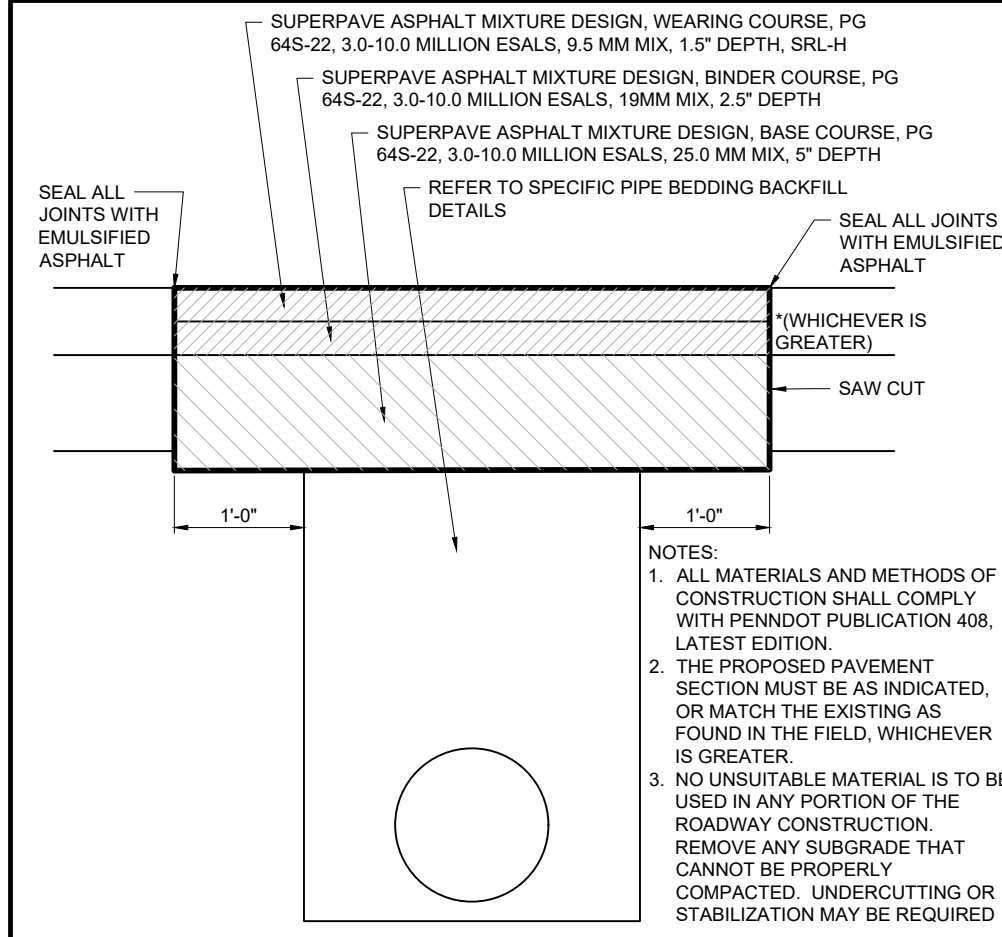
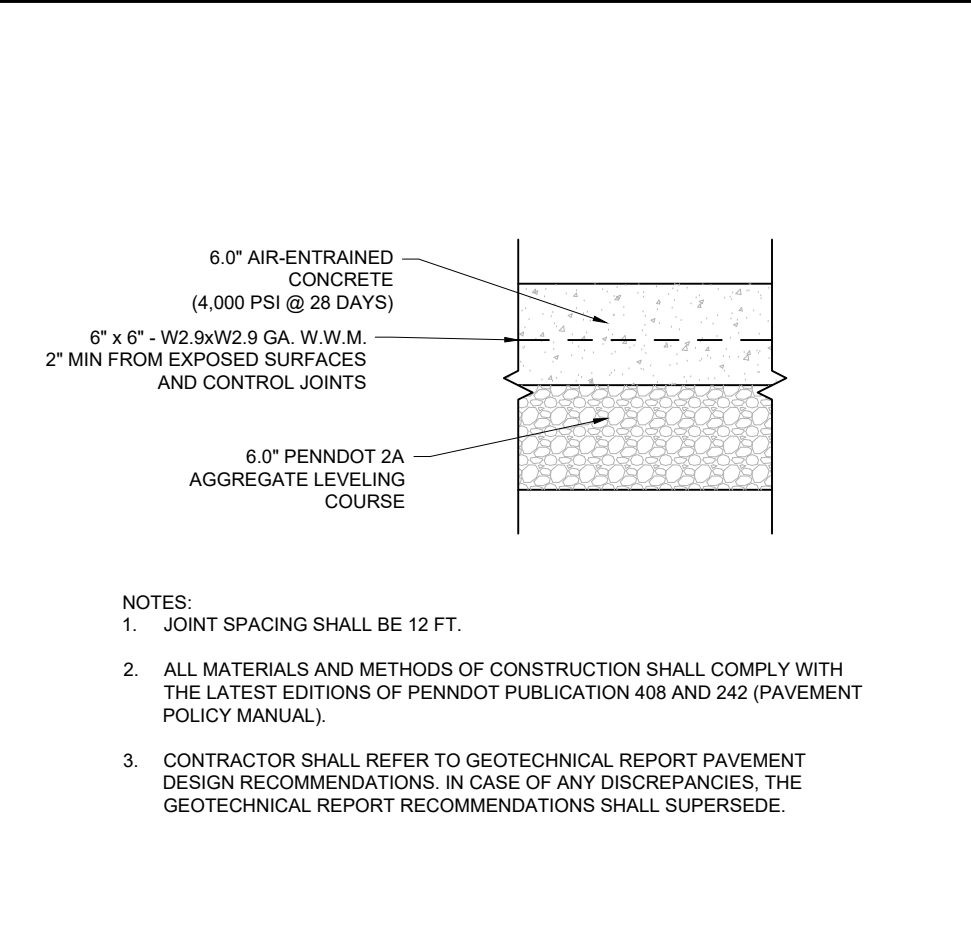
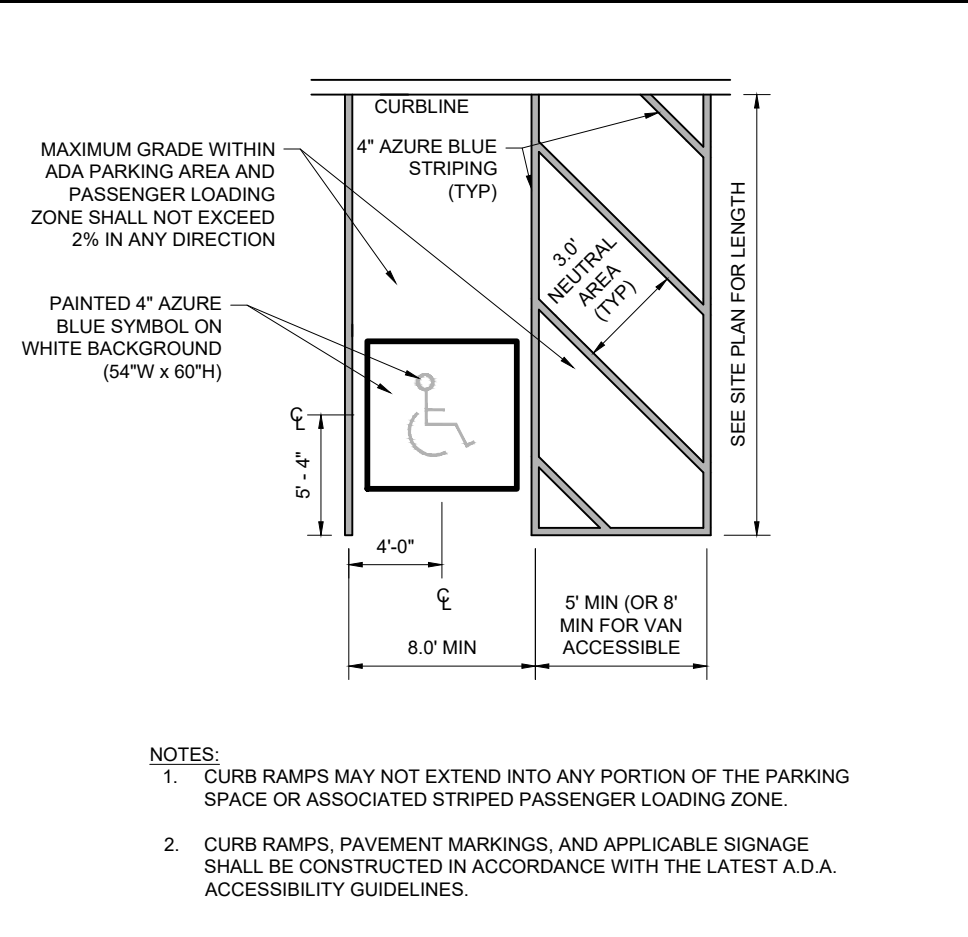
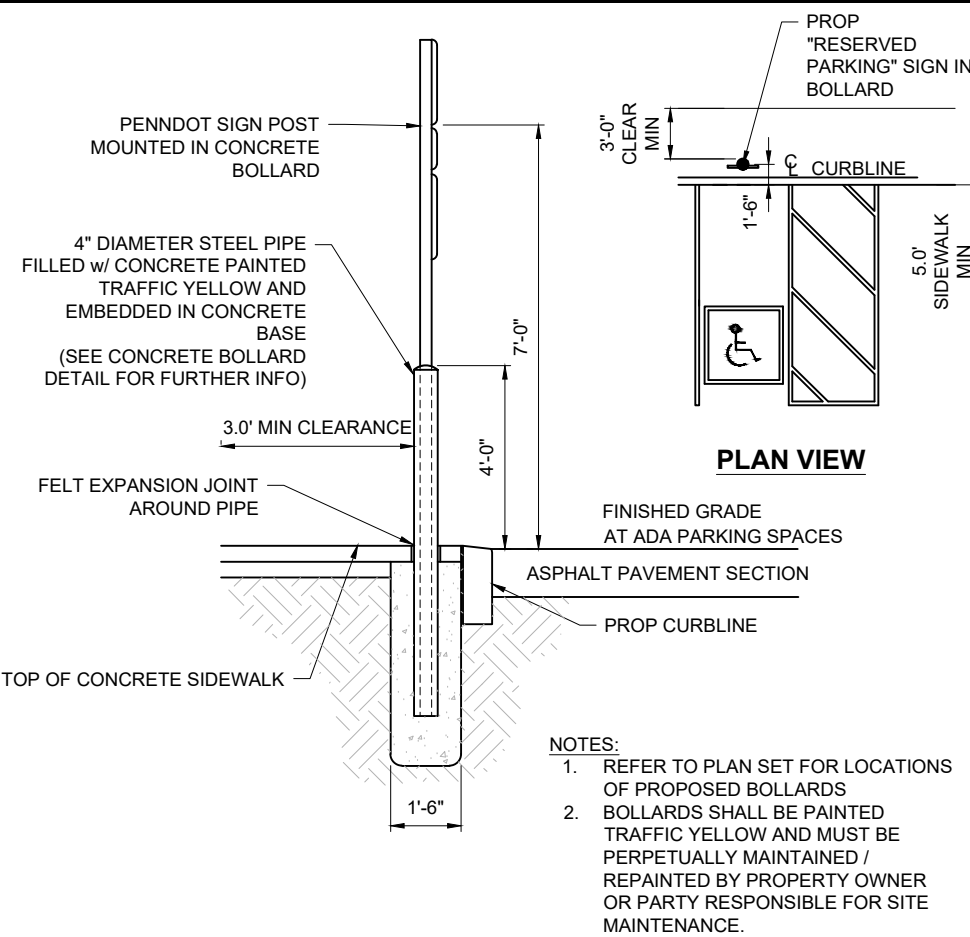
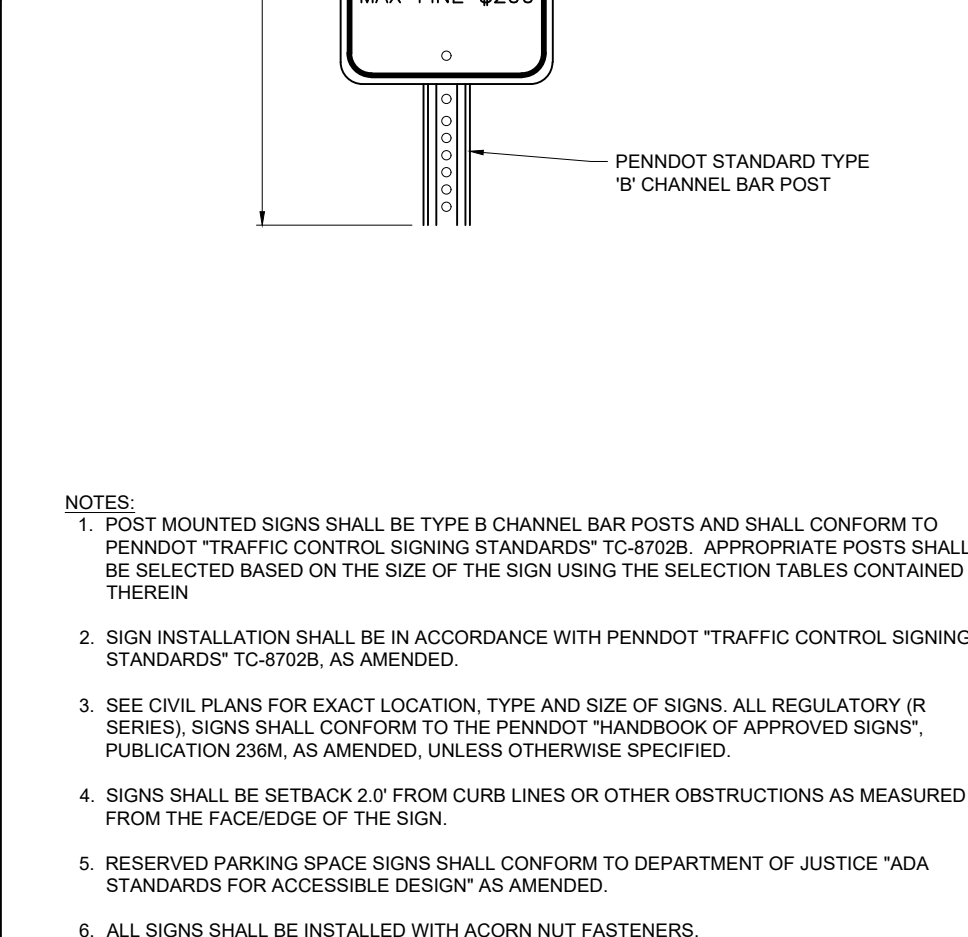
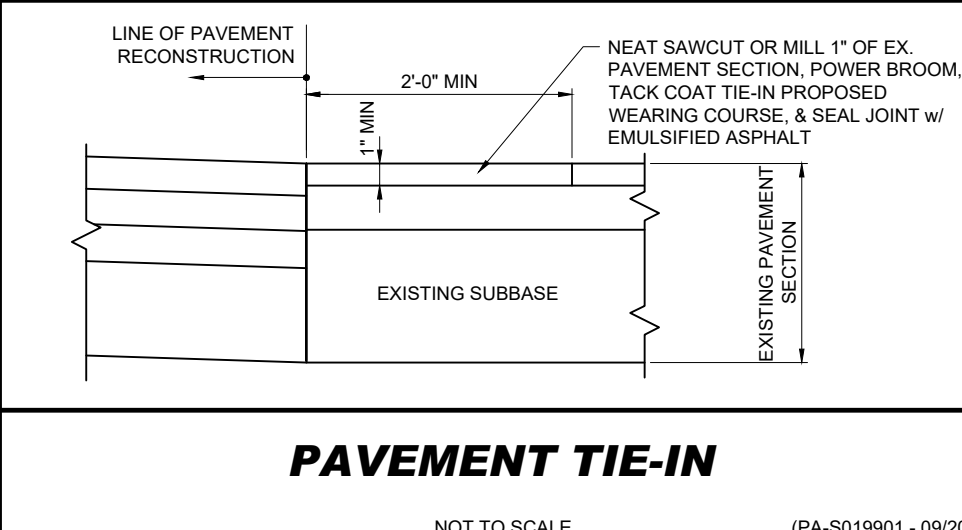
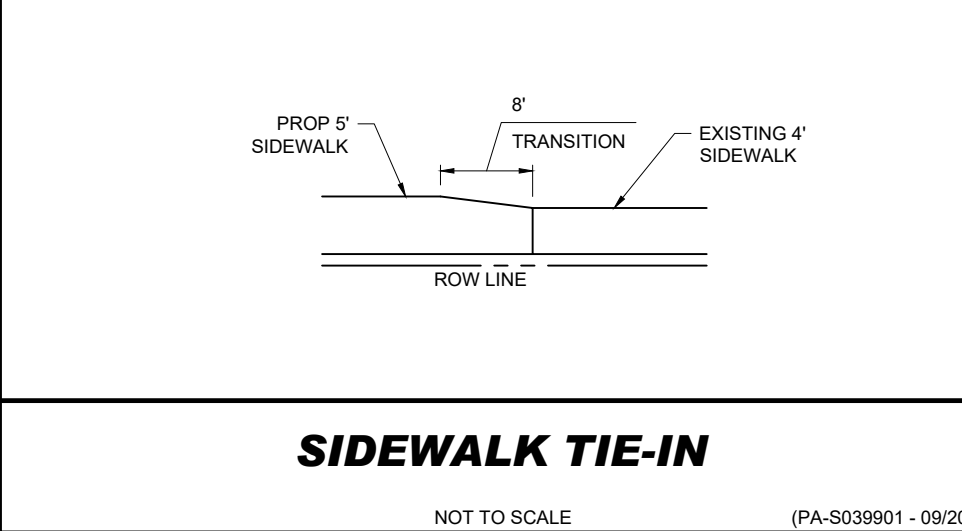
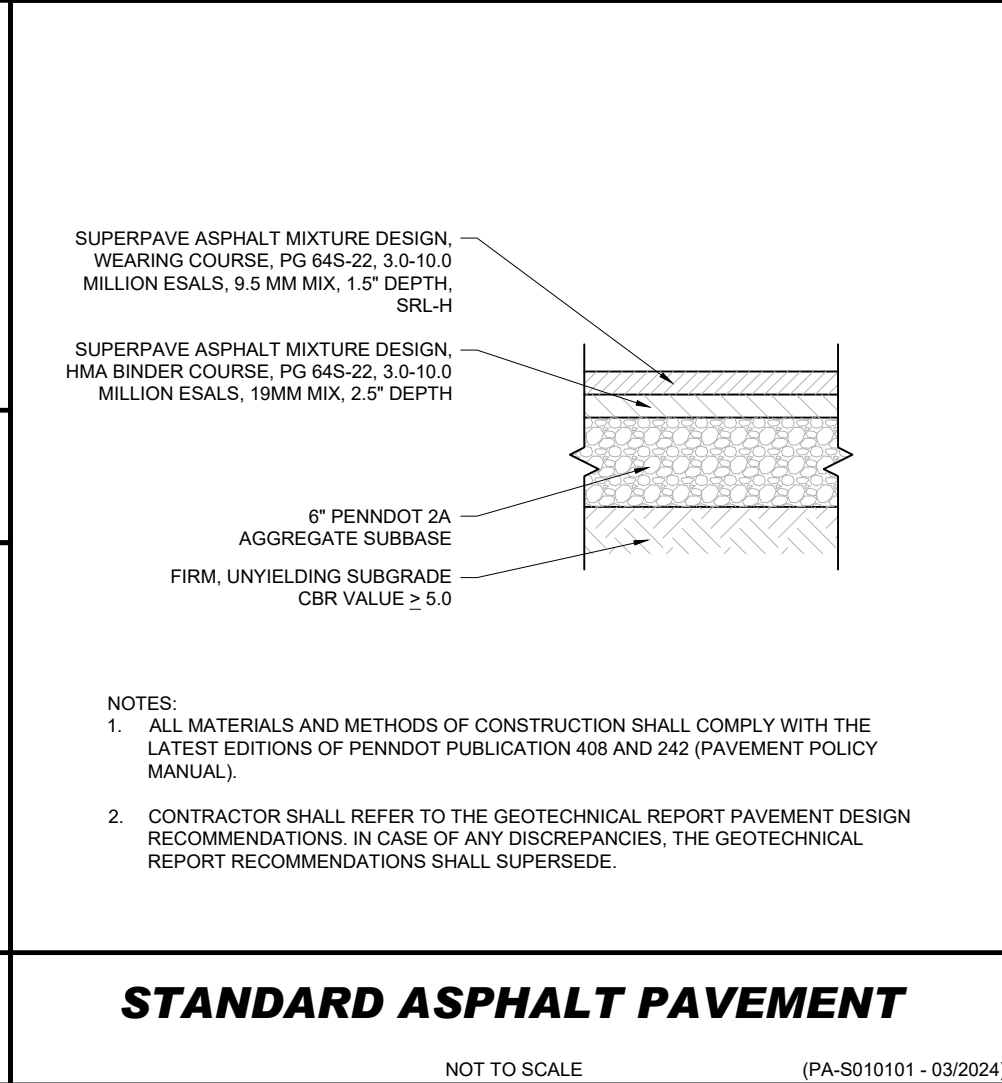
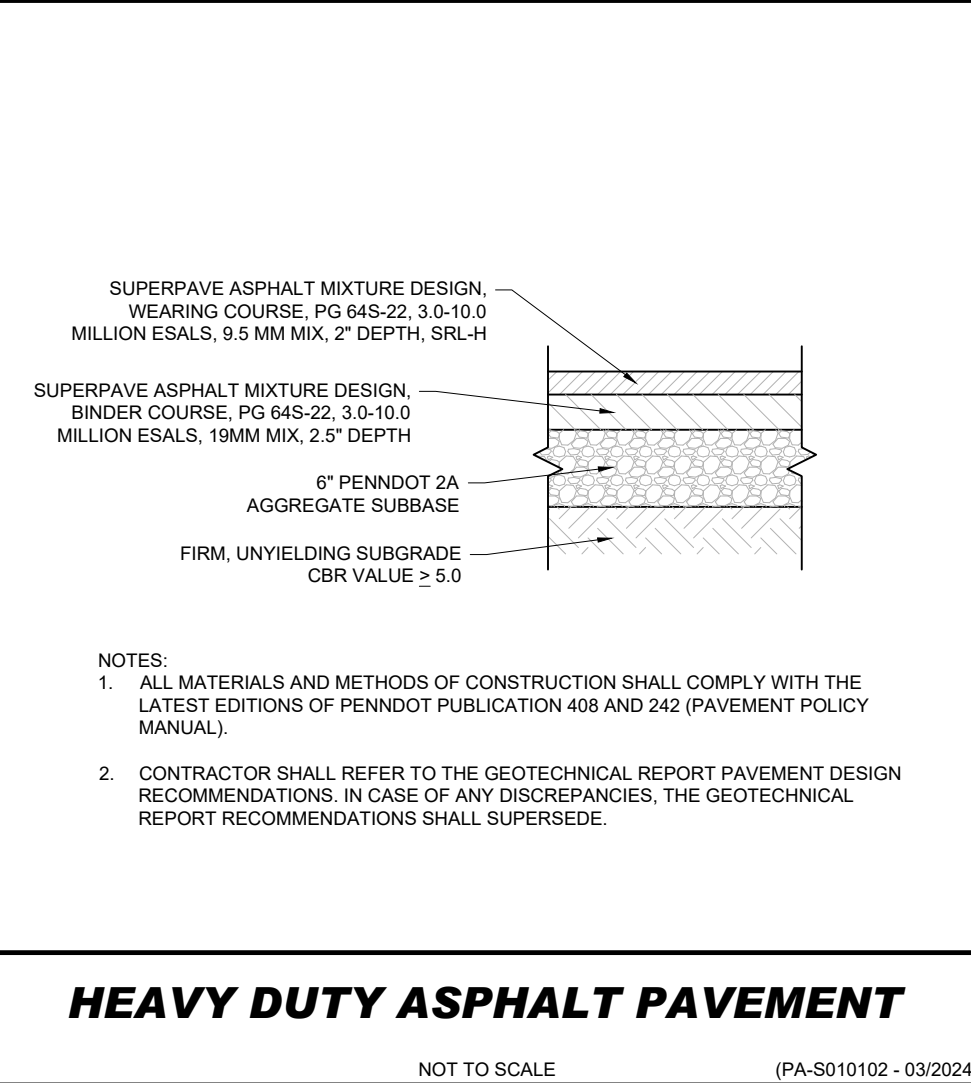
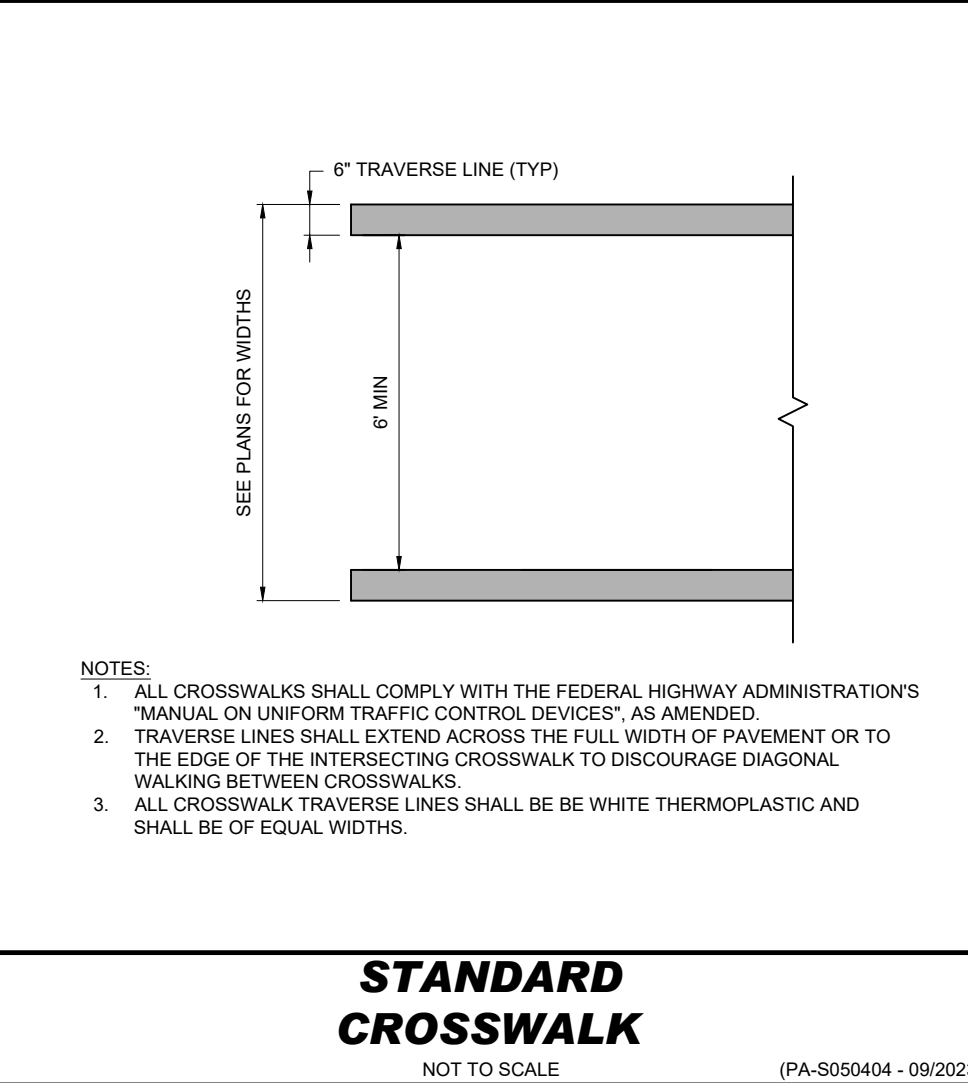
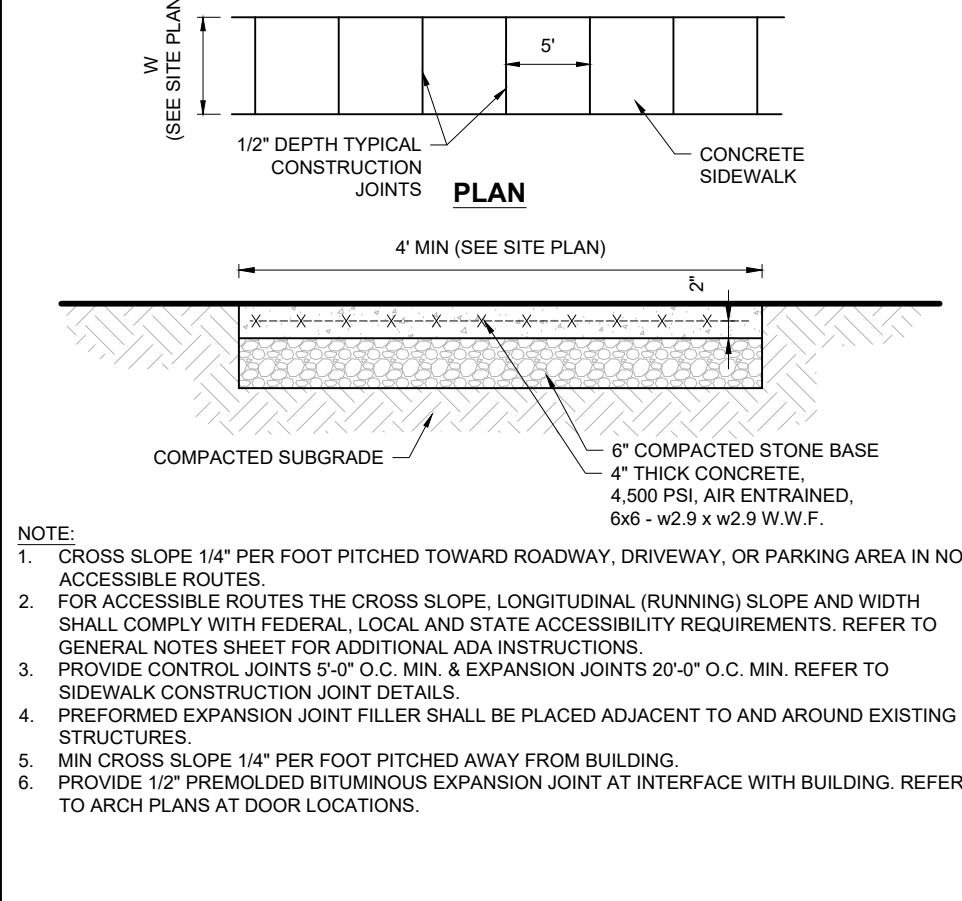
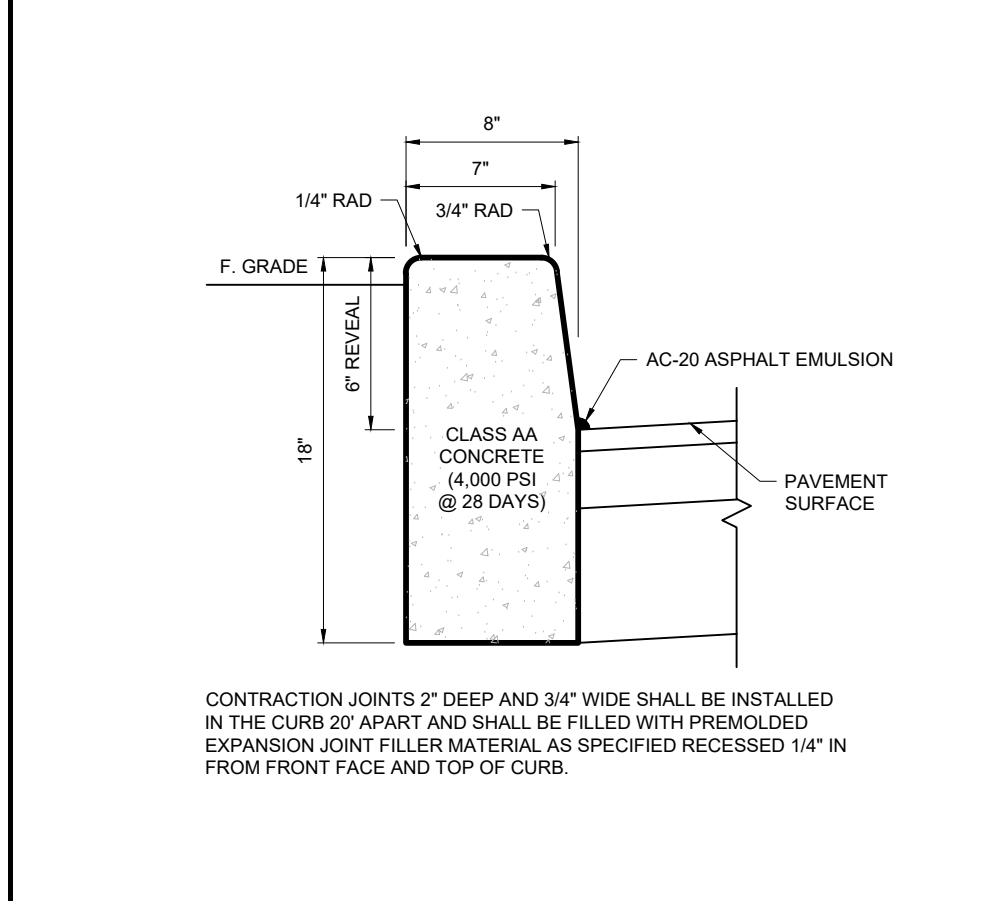
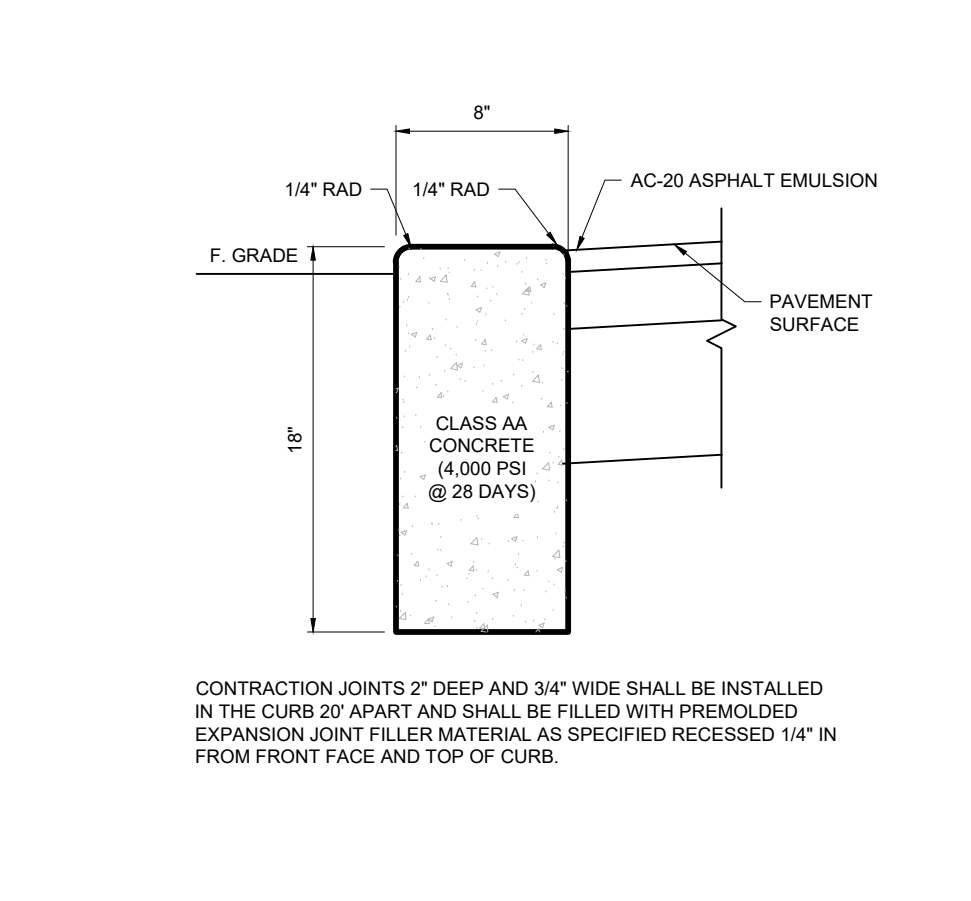
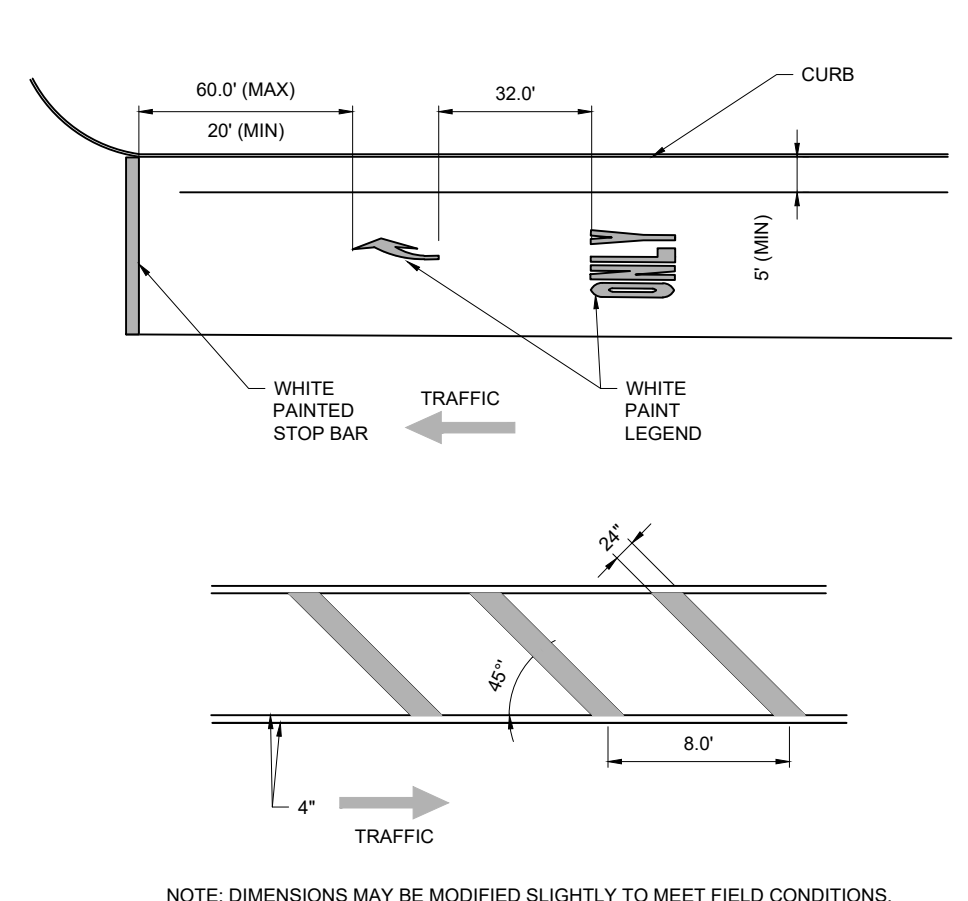
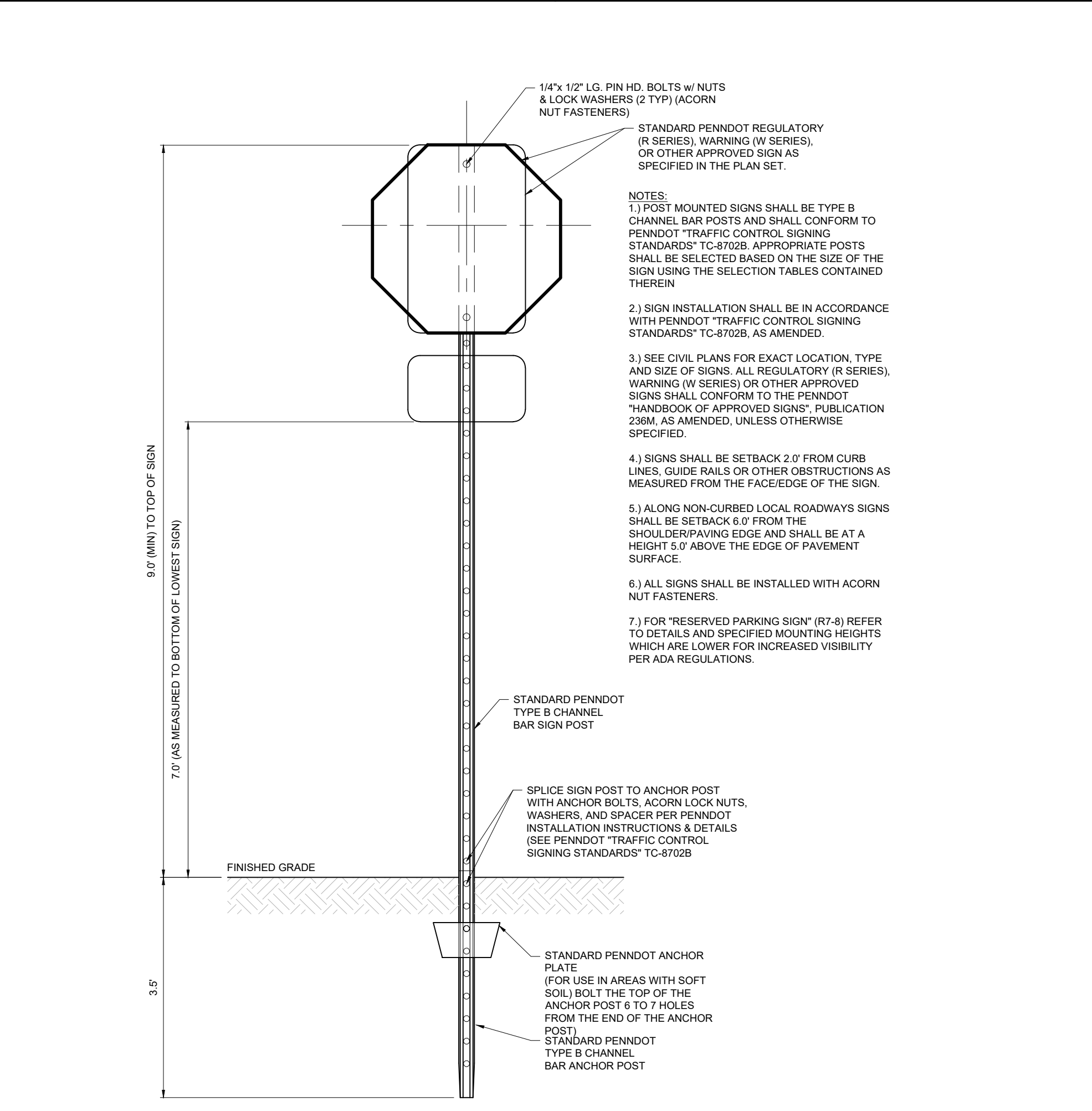
SHEET NUMBER:  
**C-895**

ORG. DATE - 10/04/2024

I:\BOHLER\NET\SHARES\PA\PROJECTS\2024\AC220255-00-0B-IMP-ROADS\1-LAYOUT-C-895-INDA

MATCHLINE D-D

MATCHLINE D-D

 <p><b>BOLLARD</b> NOT TO SCALE (PA-S070101 - 09/2023)</p>	 <p><b>SIGN WITHIN BOLLARD IN ASPHALT</b> NOT TO SCALE (PA-S060202 - 09/2023)</p>	 <p><b>BOLLARD</b> NOT TO SCALE (PA-S070101 - 09/2023)</p>	 <p><b>SIGN WITHIN BOLLARD IN ASPHALT</b> NOT TO SCALE (PA-S060202 - 09/2023)</p>	 <p><b>FLEXIBLE PAVEMENT RESTORATION</b> NOT TO SCALE (PA-S019902 - 09/2023)</p>	 <p><b>REINFORCED CONCRETE PAVEMENT</b> NOT TO SCALE (BE-S010203 - 03/2024)</p>	 <p><b>ADA ACCESSIBLE PARKING SPACE STRIPING (1 SPACE)</b> NOT TO SCALE (PA-S050102 - 09/2023)</p>	 <p><b>RESERVED PARKING SIGN WITHIN BOLLARD</b> NOT TO SCALE (PA-S060103 - 09/2023)</p>	 <p><b>RESERVED PARKING SPACE WITH PENALTIES AND VAN ACCESSIBLE SIGNS</b> NOT TO SCALE (PA-S060101 - 09/2023)</p>	
 <p><b>PAVEMENT TIE-IN</b> NOT TO SCALE (PA-S019901 - 09/2023)</p>	 <p><b>SIDEWALK TIE-IN</b> NOT TO SCALE (PA-S039901 - 09/2023)</p>	 <p><b>STANDARD ASPHALT PAVEMENT</b> NOT TO SCALE (PA-S010101 - 03/2024)</p>	 <p><b>HEAVY DUTY ASPHALT PAVEMENT</b> NOT TO SCALE (PA-S010102 - 03/2024)</p>	 <p><b>STANDARD CROSSWALK</b> NOT TO SCALE (PA-S050404 - 09/2023)</p>	 <p><b>CONCRETE SIDEWALK</b> NOT TO SCALE (BE-S030202 - 06/2024)</p>	 <p><b>TYPICAL CONCRETE CURB</b> NOT TO SCALE (PA-S020201 - 03/2024)</p>	 <p><b>TYPICAL FLUSH CONCRETE CURB</b> NOT TO SCALE (PA-S020202 - 03/2024)</p>	 <p><b>PAVEMENT MARKING</b> NOT TO SCALE (PA-S050302 - 09/2023)</p>	 <p><b>STANDARD POLE MOUNTED SIGN INSTALLATION</b> NOT TO SCALE (PA-S060201 - 09/2023)</p>

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TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY

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LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF THE SIZE, DEPTH OR HORIZONTAL LOCATION OF UTILITIES SHOWN HEREON CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT 53 OF 2012, CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK.  
WWW.PH.CAD.ORG  
800.297.3143

PROJECT No.:	PAC220255-00-0B
DRAWN BY:	SJA / AM
CHECKED BY:	LB / SP
DATE:	10/04/2024
CAD ID:	P-CIVIL-0005

**PROJECT:**  
**SUBDIVISION / PRELIMINARY LAND DEVELOPMENT PLANS**  
FOR  
**MAIN LINE HEALTH, INC.**  
**PROPOSED MEDICAL CENTER**  
5030 HORSESHOE PIKE  
CALN TOWNSHIP  
CHESTER COUNTY, PA  
UPI 32-2-87  
D.B. 9731, PG. 2246

**BOHLER**  
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PHILADELPHIA, PA 19102  
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**SHEET TITLE:**  
**CONSTRUCTION DETAILS**  
**SHEET NUMBER:**  
**C-901**  
ORG. DATE - 10/04/2024

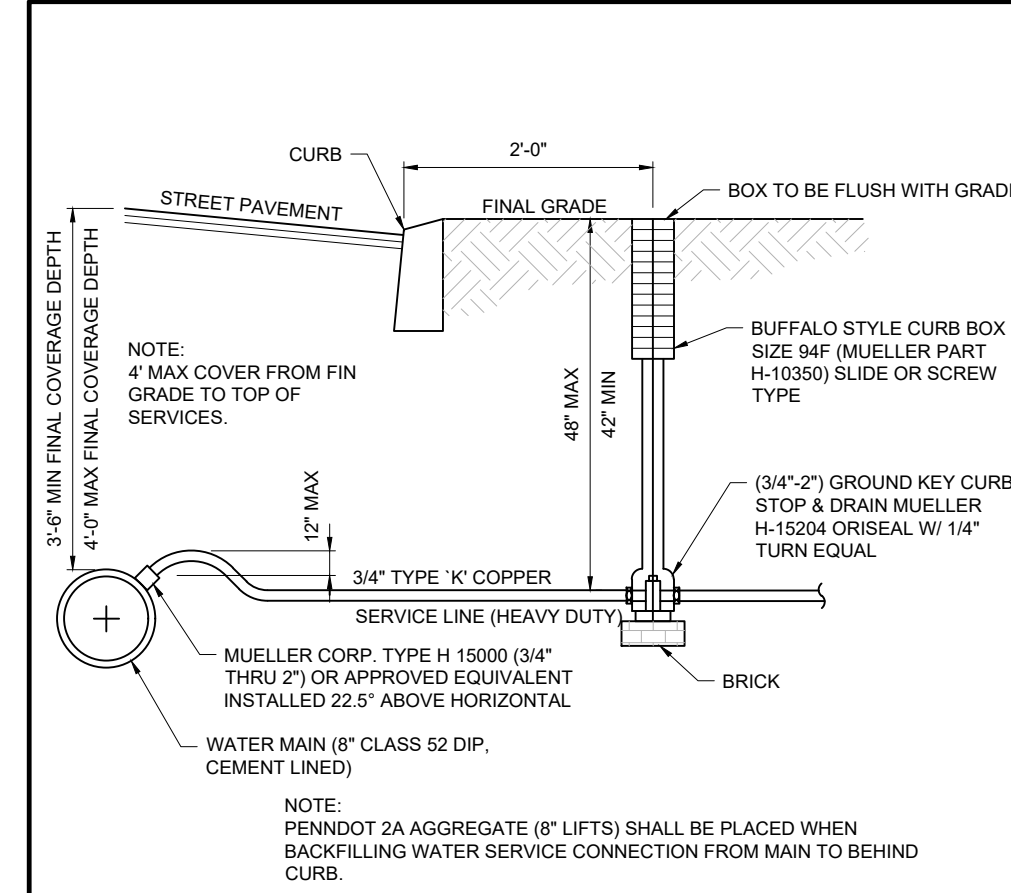
**LIST OF APPLICABLE PENNDOT DETAILS & STANDARDS**

ALL PAVEMENT MARKINGS SHOULD BE IN ACCORDANCE WITH PENNDOT PUBLICATION 111, TC-8600 & TC-8700 STANDARDS, LATEST EDITION.

- SIGNAGE: PENNDOT PUBLICATION 236  
 "STOP" SIGN - R1-1 (24" x 24")  
 "NO LEFT TURN" SIGN - R3-2 (24" x 24")  
 "CENTER LANE - LEFT TURN - ONLY" SIGN - R3-9B (24" x 36")  
 "BEGIN" SIGN - R3-9CP (24" x 12")  
 "KEEP RIGHT" SIGN - R4-7 (12" x 18")  
 "DO NOT ENTER" SIGN - R5-1 (30" x 30")  
 VERTICAL "ONE WAY" LEFT SIGN - R6-2L (18" x 24")  
 VERTICAL "ONE WAY" RIGHT SIGN - R6-2R (18" x 24")  
 NO PARKING SYMBOL SIGN - R8-3 (24" x 24")  
 PEDESTRIAN SIGN - W11-2 (30" x 30" W/ FLUORESCENT YELLOW-GREEN BACKGROUND)  
 DOWNWARD POINTING ARROW SIGN - W16-7P (24" x 12" W/ FLUORESCENT YELLOW-GREEN BACKGROUND)  
 OBJECT MARKER - OM1-3 (18" x 18")

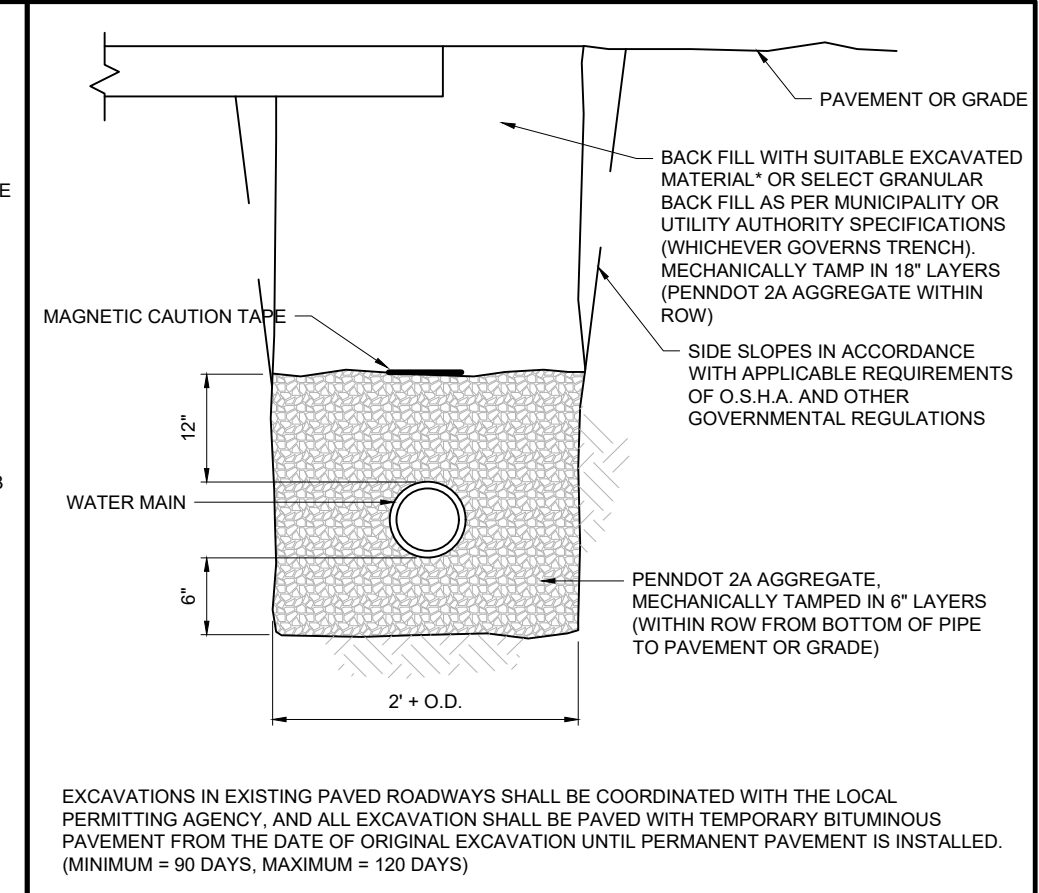
ADDITIONAL DETAILS ASSOCIATED WITH PENNDOT ROAD IMPROVEMENTS ARE ON THE FOLLOWING STANDARD DETAILS FROM THE LATEST EDITION OF PENNDOT PUBLICATION 72M:  
 (THE PERMITTEE IS REQUIRED TO PROVIDE THE CONTRACTOR WITH COPIES OF THE MOST CURRENT APPLICABLE RC DRAWINGS)

STANDARD DRAWING NUMBER	DRAWING NAME
RC - 26M	CONCRETE PAVEMENT REHABILITATION
RC - 28M	OVERLAY TRANSITIONS AND PAVING NOTCHES
RC - 30M	SUBSURFACE DRAINS
RC - 33M	END SECTIONS FOR PIPE CULVERTS
RC - 38M	SANITARY SEWER MANHOLES
RC - 39M	STORMWATER MANHOLES
RC - 45M	INLET TOPS, GRATES AND FRAMES
RC - 46M	INLET BOXES
RC - 64M	CURBS AND GUTTERS
RC - 65M	CONCRETE MOUNTABLE CURBS
RC - 67M	CURB RAMP AND SIDEWALKS



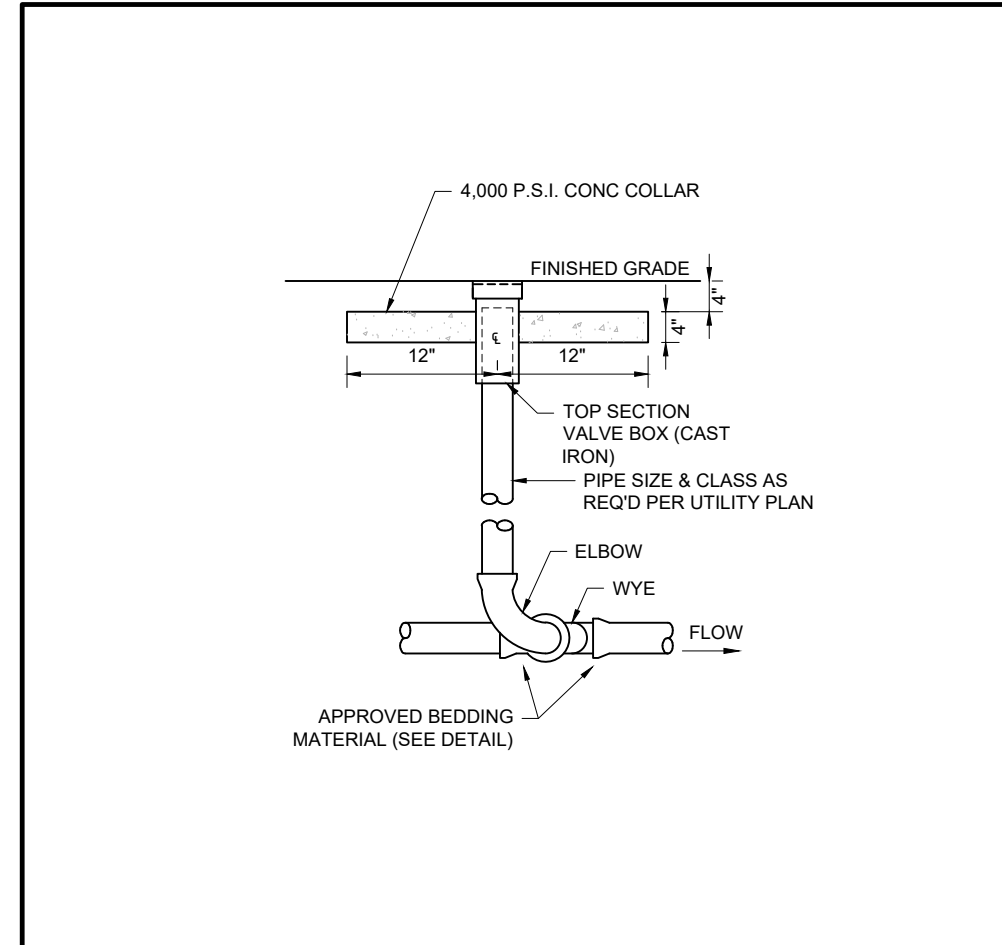
**WATER SERVICES CONNECTION**

NOT TO SCALE (PA-U030401 - 09/2023)



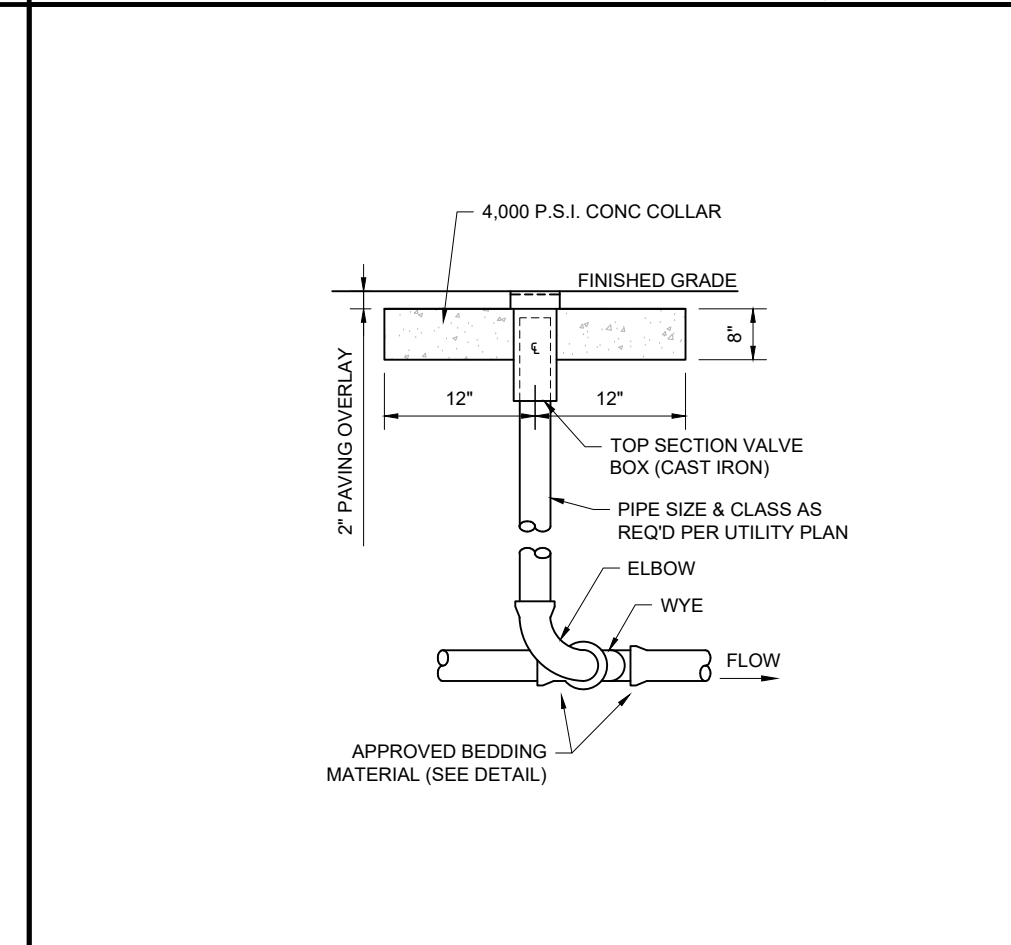
**TRENCH BEDDING CLASSIFICATION (WATER MAIN)**

NOT TO SCALE (PA-U050201 - 09/2023)



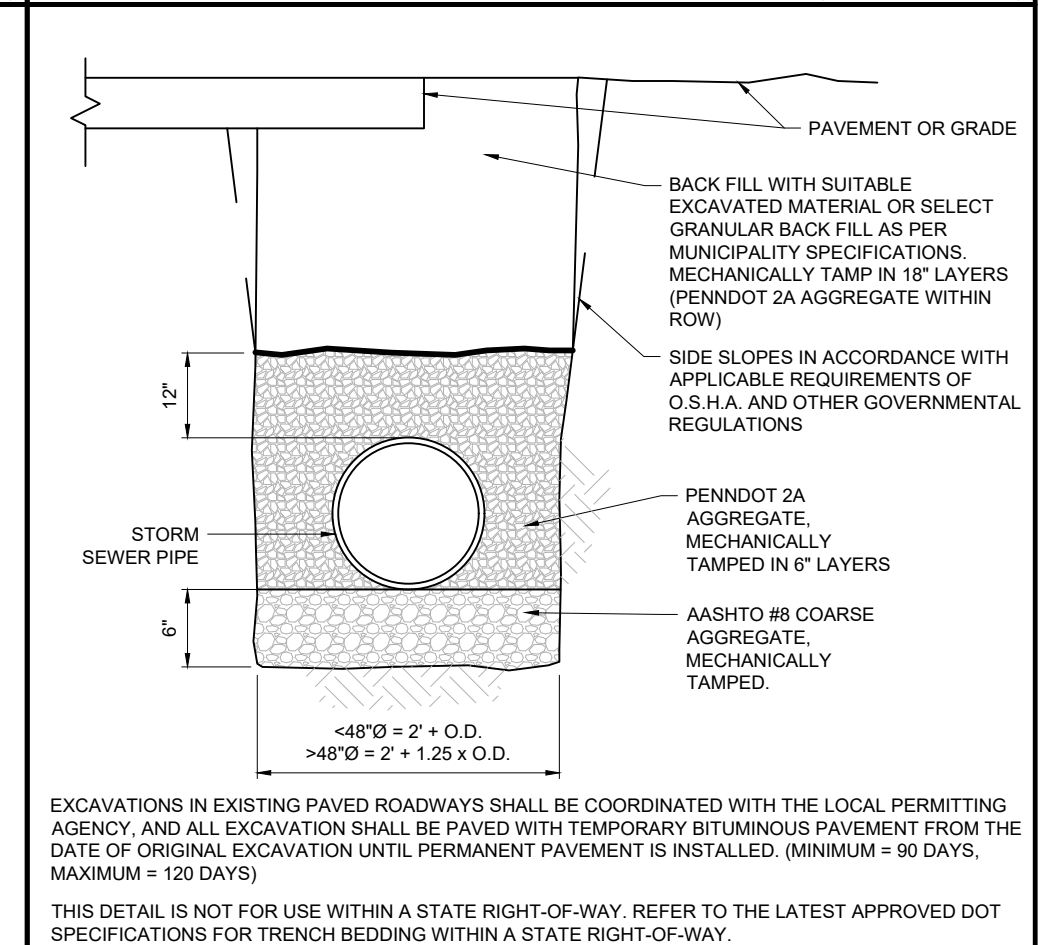
**TYPICAL CLEANOUT (LANDSCAPE AREAS)**

NOT TO SCALE (PA-U020202 - 09/2023)



**TYPICAL CLEANOUT (PAVED AREAS)**

NOT TO SCALE (PA-U020201 - 09/2023)



**TRENCH BEDDING CLASSIFICATION (STORM)**

NOT TO SCALE (PA-U050203 - 09/2023)

**MANHOLE COVER SECTION**

**MANHOLE COVER SECTION**

NOTES:  
 1. STANDARD MANHOLE FRAMES & COVERS SHALL BE USED ON ALL MANHOLES NOT LOCATED WITHIN EASEMENTS UNLESS DIRECTED OTHERWISE BY THE ENGINEER.  
 2. STANDARD MANHOLE FRAME & COVER SHALL BE BRIDGESTONE PATTERN #10120, OR APPROVED EQUIVALENT, WITH NON-PENETRATING PICK HOLES.  
 3. "FLOW-SEAL" MANHOLE COVERS SHALL BE USED ON MANHOLES LOCATED WITHIN EASEMENTS, IN UNPAVED AREAS, AND OUTSIDE OF THE CENTERLINE OF PAVED ROADS.  
 4. ALL MANHOLE FRAME AND COVERS SHALL BE MADE IN THE USA.

**PLAN VIEW**

**TABLE A**  
 BASE SLAB DIMENSIONS

MAX DEPTH FROM TOP OF MANHOLE TO TOP OF FOOTING	DESIGNED (SEE NOTE 12)	
	FOOTING DIAMETER	FOOTING THICKNESS
10'-0"	6'-9"	1'-0"
20'-0"	6'-9"	1'-3"
30'-0"	7'-3"	1'-3"
40'-0"	8'-0"	1'-3"
50'-0"	8'-6"	1'-3"
60'-0"	8'-6"	1'-3"

**SECTION**

**REINFORCEMENT DETAIL AT OPENINGS**

NOTES:  
 1. FOR WALL THICKNESS 10" THICK OR GREATER PLACE ADDITIONAL REINFORCEMENT AS SHOWN ABOVE AT EACH FACE OF THE WALL INSIDE MAIN REINFORCEMENT.  
 2. FOR WALLS 6" THICK KEEP MAIN REINFORCEMENT CENTERED IN WALL, PROVIDE ADDITIONAL REINFORCEMENT AS SHOWN ABOVE, MAINTAINING REQUIRED COVER.

**PRECAST STORM MANHOLE**

NOT TO SCALE (PA-U010101 - 09/2023)

**NOTES:**  
 1. PRECAST MANHOLES, MEETING THE REQUIREMENTS OF PUBLICATION 408 SPECIFICATIONS, SECTION 714, MAY BE SUBSTITUTED FOR THE STANDARD CAST-IN-PLACE MANHOLE.  
 2. CONSTRUCTION NOTES:  
 A. CONSTRUCT IN ACCORDANCE WITH PENNDOT PUBLICATION 408 SPECIFICATIONS, SECTIONS 605, 606, 714 AND ASTM C-778, STANDARD SPECIFICATIONS FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS, AS MODIFIED HERE IN:  
 B. MINIMUM CONCRETE CLASS AA  
 C. PROVIDE EPOXY COATED STEEL REINFORCEMENT (IN ACCORDANCE WITH ASTM A165), STEEL WELDED WIRE FABRIC (IN ACCORDANCE WITH ASTM A563 & A675), PLAN BILLET STEEL BARS (IN ACCORDANCE WITH ASTM A615) OR DEFORMED BILLET STEEL BARS. PROVIDE MINIMUM YIELD STRENGTH OF 60,000 PSI  
 D. CLEAR COVER FOR STEEL WALLS: 2" FOOTINGS, 2" (TOP BARS), 1 1/2" (BOTTOM BARS), 1 1/2" (SIDE COVER)  
 3. PROVIDE 12" MINIMUM HORIZONTAL CLEARANCE BETWEEN OPENINGS LOCATED AT THE SAME DEPTH. PIPES NOT LOCATED AT THE SAME DEPTH MUST BE LOCATED VERTICALLY AT LEAST ONE TIME MAXIMUM OPENING DIAMETER APART.  
 4. FOR RISERS OR BASE SECTIONS WITH OPENINGS, PROVIDE A MINIMUM HEIGHT OF SECTION EQUAL TO TWO TIMES THE LARGEST OPENING. CENTER OF OPENING TO BE LOCATED AT LEAST ONE TIME THE OPENING FROM THE CLOSEST JOINT BETWEEN RISERS.  
 5. FOR PRECAST RISER OR BASE SECTIONS WITH ONE OPENING LOCATED AT DEPTHS TO 60' OR FOR SECTIONS WITH TWO OR MORE OPENINGS, LOCATED AT A DEPTH OF 15 FEET AND LESS, PROVIDE CIRCUMFERENTIAL REINFORCEMENT IN ACCORDANCE WITH REINFORCEMENT DETAIL AT OPENINGS.  
 6. FOR RISERS OR BASE SECTIONS WITH 2 OR MORE OPENINGS, LOCATED AT A DEPTH GREATER THAN 15 FEET, BUT LESS THAN OR EQUAL TO 30 FEET, PROVIDE CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.44 SQ IN VERTICAL FOOT FOR THE DEPTH OF THE RISER OR BASE SECTION.  
 7. FOR RISERS OR BASE SECTIONS WITH 2 OR MORE OPENINGS, LOCATED AT DEPTHS GREATER THAN 30 FEET, USE A 10 INCH THICK WALL RISER OR BASE SECTION WITH CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ IN VERTICAL FOOT EACH FACE.  
 8. RISERS OR BASE SECTIONS WITH HOLES TO BE CLEARLY MARKED WITH MAXIMUM ALLOWABLE DEPTH.  
 9. PROVIDE ADDITIONAL REINFORCEMENT BARS AROUND OPENINGS AS SHOWN ON REINFORCEMENT DETAILS AT OPENINGS.  
 10. PROVIDE MANHOLE STEPS MEETING THE REQUIREMENTS OF PUBLICATION 408 SPECIFICATIONS, SECTION 605 (2)(c). ALTERNATE CONFIGURATIONS AND DIMENSIONS, AS APPROVED BY THE ENGINEER, MAY BE USED.  
 11. PROVIDE MINIMUM 1" SECTION DIMENSION FOR METAL STEPS. PROVIDE MAXIMUM 3/4" SECTION DIMENSION FOR NON-DETERIORATING MATERIAL STEPS.  
 12. MECHANICAL ANCHOR REQUIRED FOR INSTALLATION OF STEPS WITHOUT HOOKS.  
 13. FOR FOOTING TOP REINFORCEMENT, BOTH DIRECTIONS, USE NO. 10 (6) BARS AT 12" FOR DEPTHS TO 60' OR 0.30 IN<sup>2</sup> WVF FOR DEPTHS TO 30' AND 0.32 IN<sup>2</sup> WVF FOR DEPTHS GREATER THAN 30'. 6" MAXIMUM SPACING FOR WVF.  
 14. FOR FOOTING BOTTOM REINFORCEMENT, BOTH DIRECTIONS, USE NO. 13 (6) BARS AT 18" FOR DEPTHS TO 60' OR 0.15 IN<sup>2</sup> WVF FOR DEPTHS TO 30' AND 0.16 IN<sup>2</sup> WVF FOR DEPTHS GREATER THAN 30'. 6" MAXIMUM SPACING FOR WVF.  
 15. A SAFE BEARING CAPACITY OF (1.5 TONS PER SF) UNDER THE ENTIRE SLAB IS ASSUMED TO DETERMINE THE BASE SIZE. WHEN THE SURROUND IS EXTREMELY POOR, PROCEED WITH CONSTRUCTION ONLY AFTER THE ENGINEER SPECIFIES ADEQUATE BASE DESIGN.

**BOHLER**  
 SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGER  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

ATTENTION ALL CONTRACTORS:  
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 WWW.PHCALL.ORG  
 #629373143

PROJECT No.: PAC220255-00-0B  
 DRAWN BY: SJA / AM  
 CHECKED BY: LB / SP  
 DATE: 10/04/2024  
 CAD ID: P-CIVL-CNDS

**SUBDIVISION / PRELIMINARY LAND DEVELOPMENT PLANS**

FOR

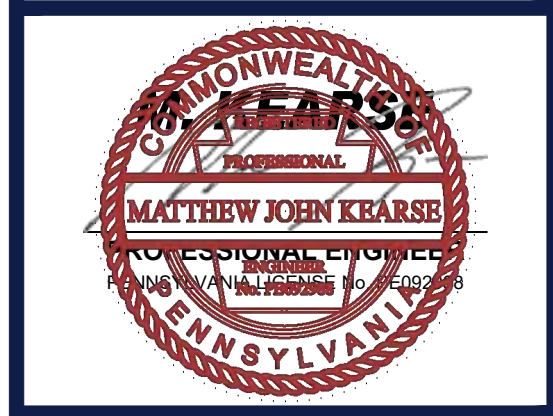
**MAIN LINE HEALTH, INC.**

PROPOSED MEDICAL CENTER

5030 HORSESHOE PIKE  
 CALN TOWNSHIP  
 CHESTER COUNTY, PA  
 UPI 32-2-87  
 D.B. 9731, PG. 2246

**BOHLER**

1515 MARKET STREET, SUITE 920  
 PHILADELPHIA, PA 19102  
 Phone: (267) 402-3400  
 Fax: (267) 402-3401  
 www.BohlerEngineering.com



SHEET TITLE:  
**CONSTRUCTION DETAILS**

SHEET NUMBER:  
**C-902**

ORG. DATE - 10/04/2024

I:\BOHLER\NET\SHARES\PA\PROJECT\2024\2024-09\AC220255\FOR CIVL\DRAWINGS\PLAN SETS\CIVIL SITE PLAN\BP-CIVL-CNDS-PAC220255-00-0B-1-1-A\OUT-06-062.DWG

BOHLER ENGINEERING PARTIAL PROJECT 2022055 00-08 - JAYOUT: C-903 DET.

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

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WWW.PH.CAD.COM  
#622573143

PROJECT No.: PAC220255-00-08  
DRAWN BY: SJA / AM  
DATE: 10/04/2024  
CAD ID: P-CIVL-CNDS

PROJECT:  
**SUBDIVISION /  
PRELIMINARY LAND  
DEVELOPMENT  
PLANS**  
FOR

**MAIN LINE  
HEALTH, INC.**

PROPOSED MEDICAL CENTER  
5030 HORSESHOE PIKE  
CALN TOWNSHIP  
CHESTER COUNTY, PA  
UPI 32-2-87  
D.B. 9731, PG. 2246

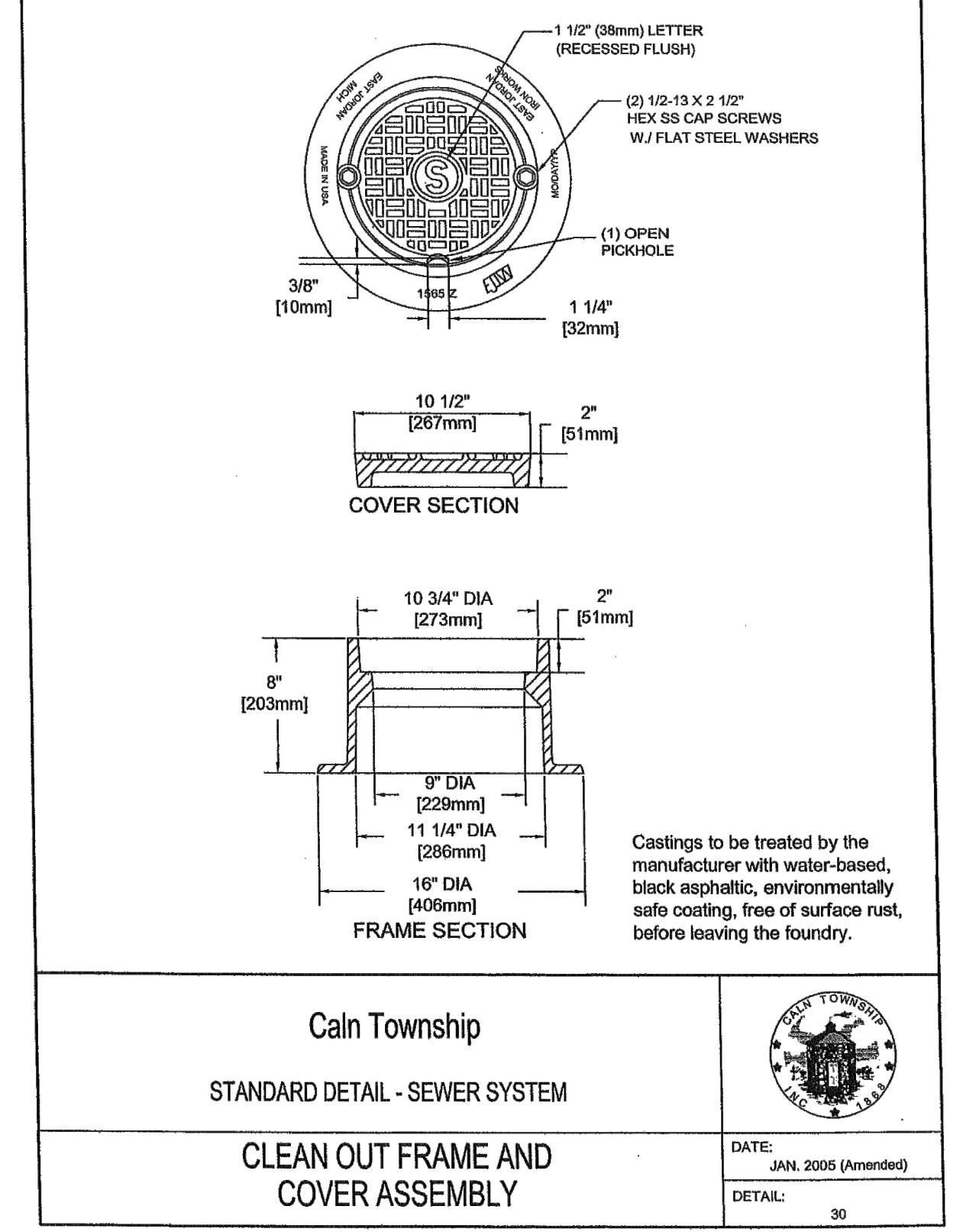
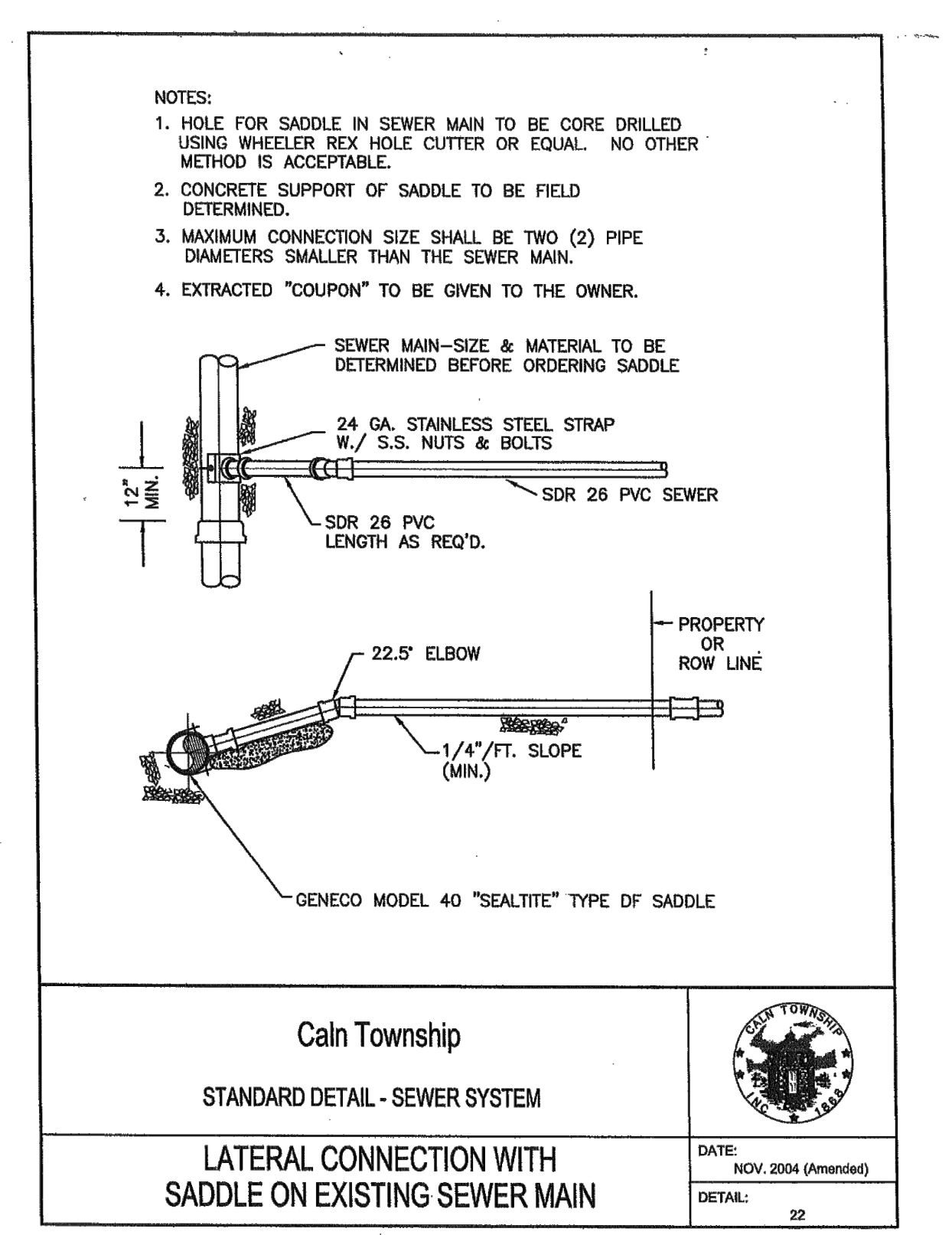
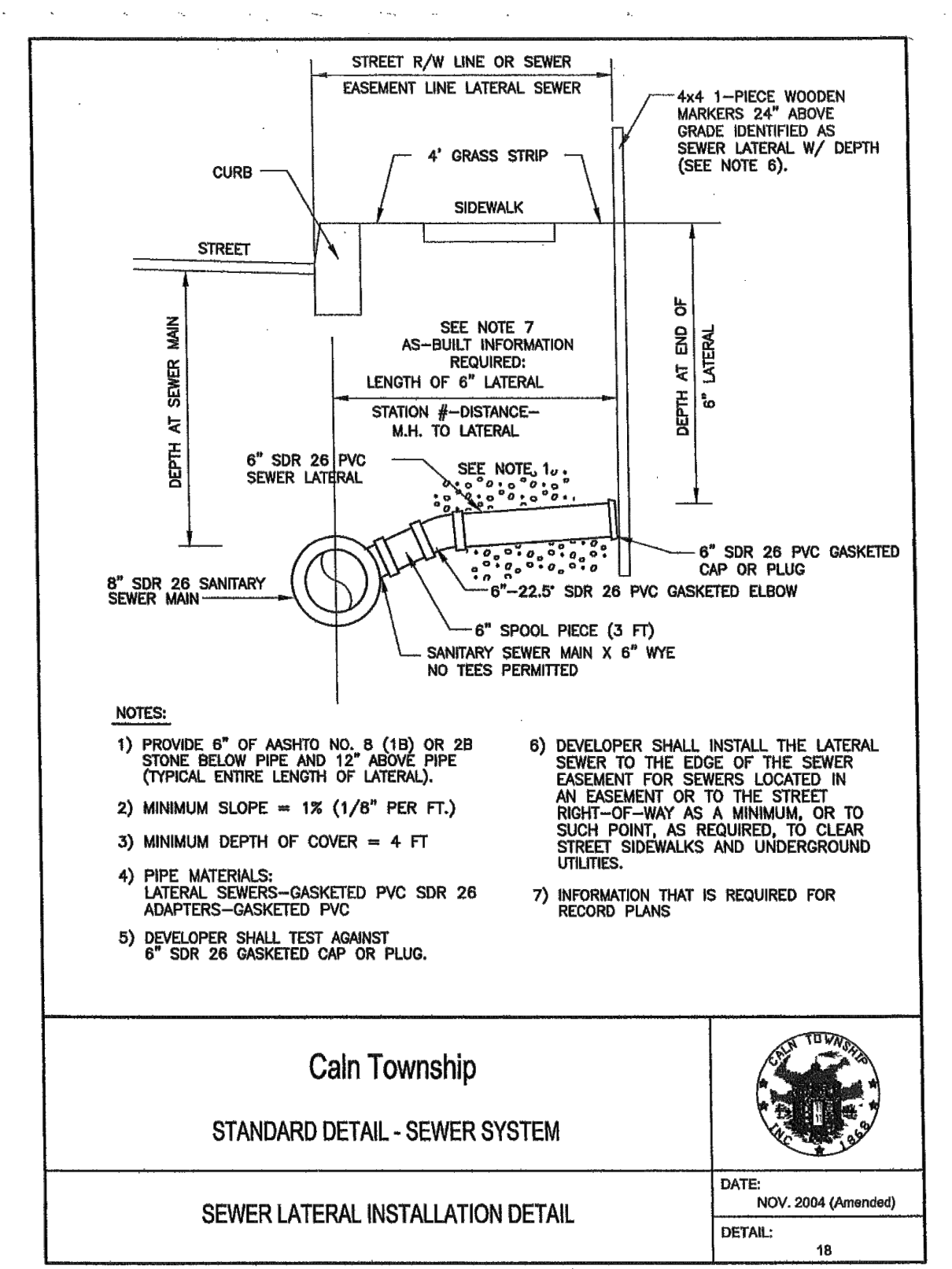
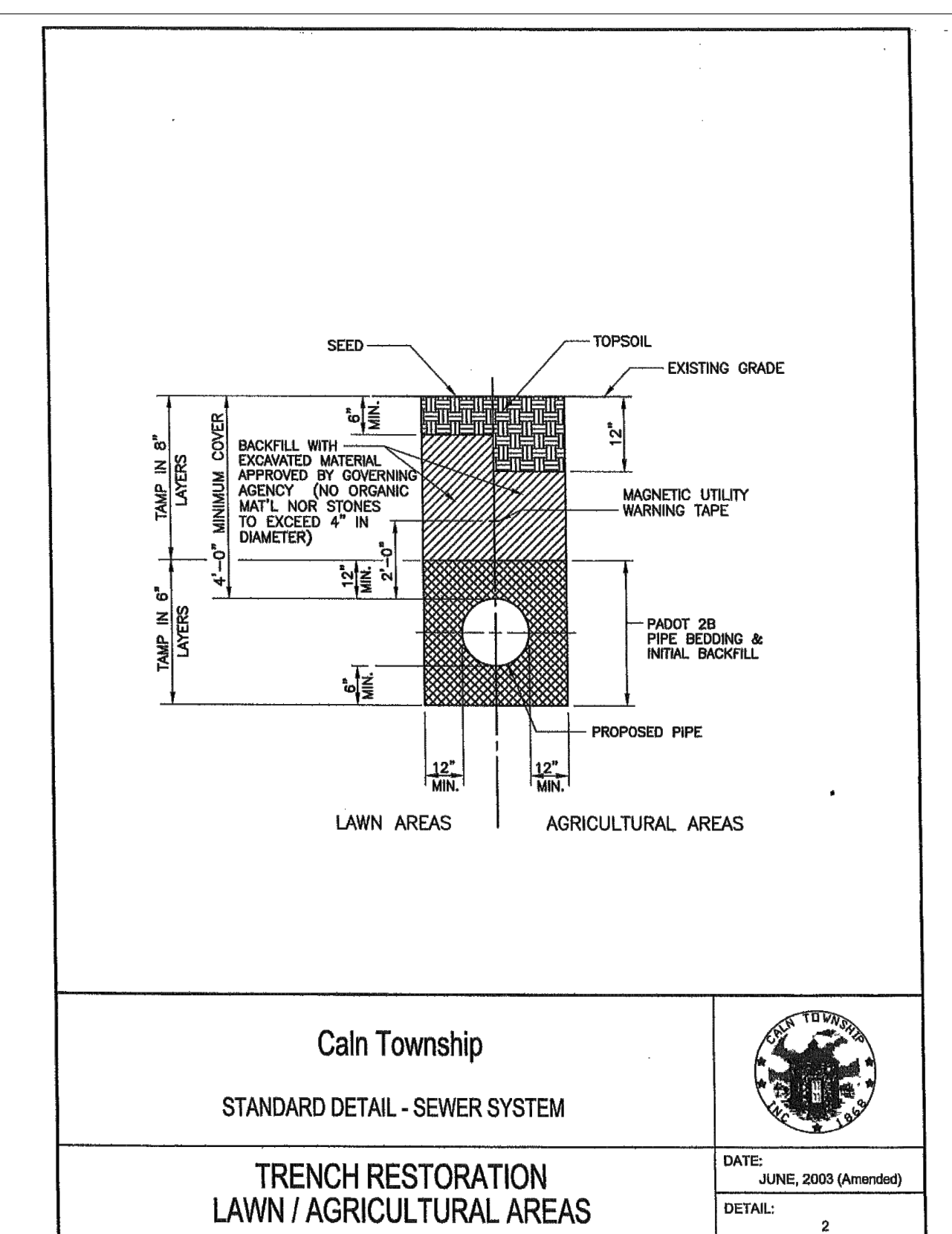
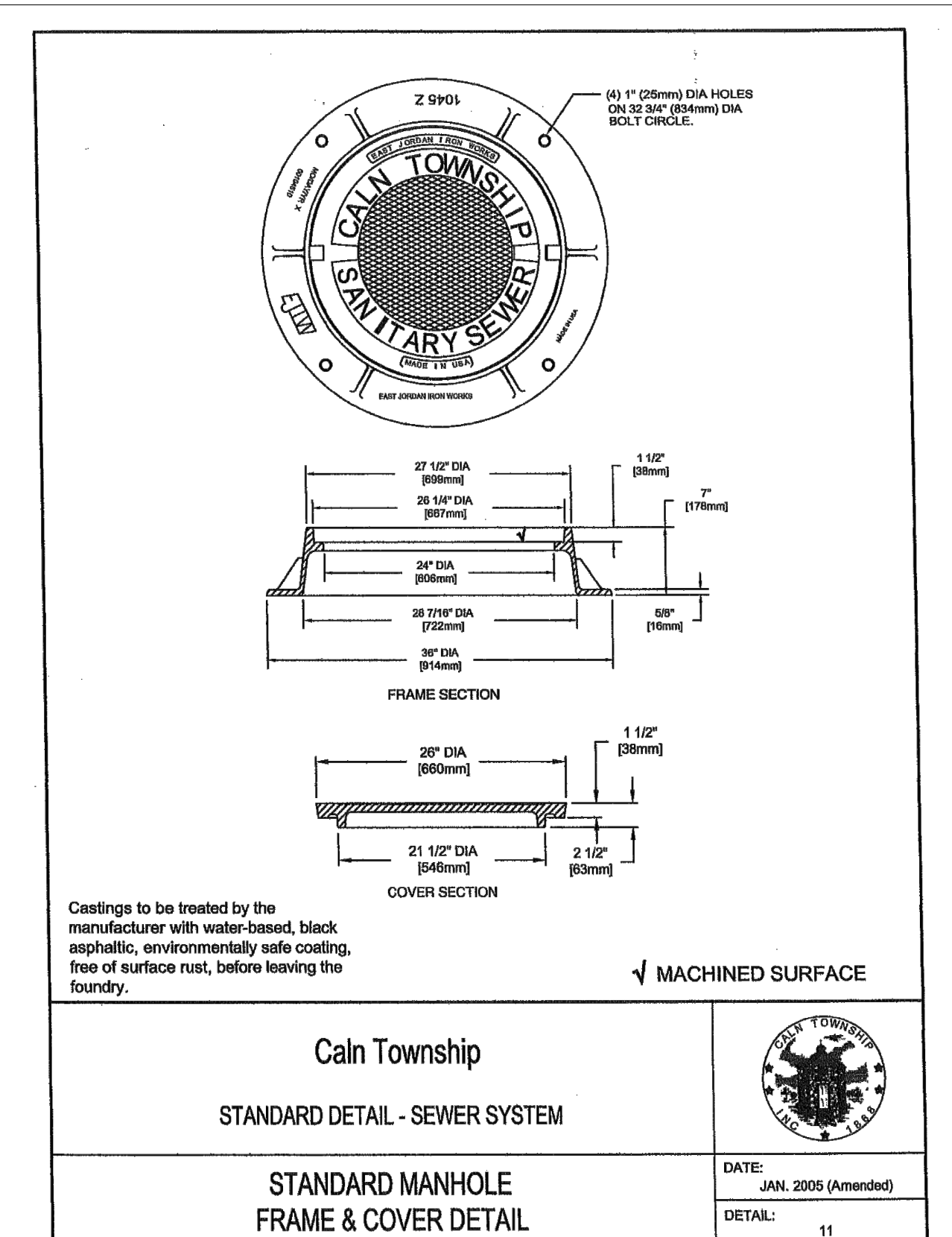
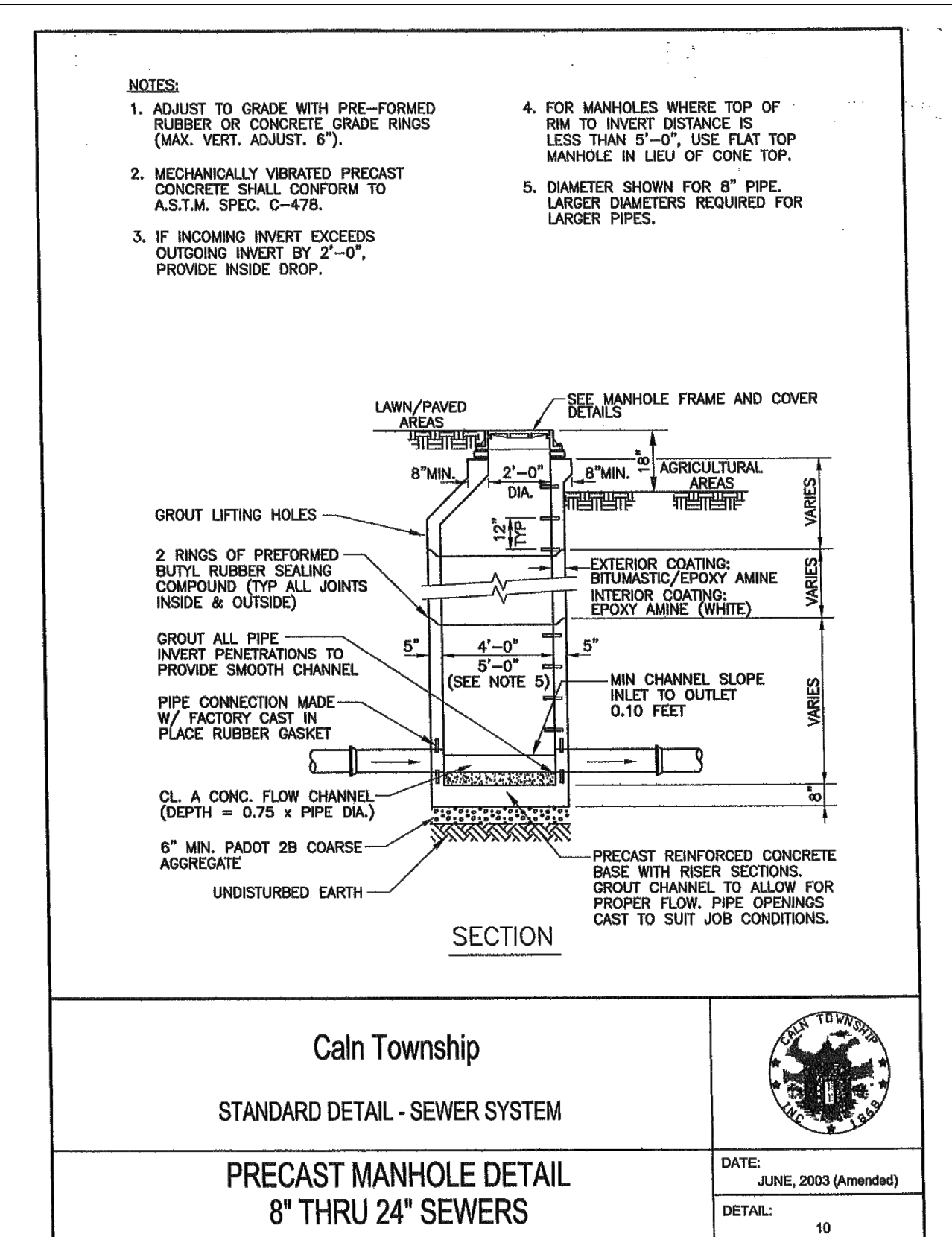
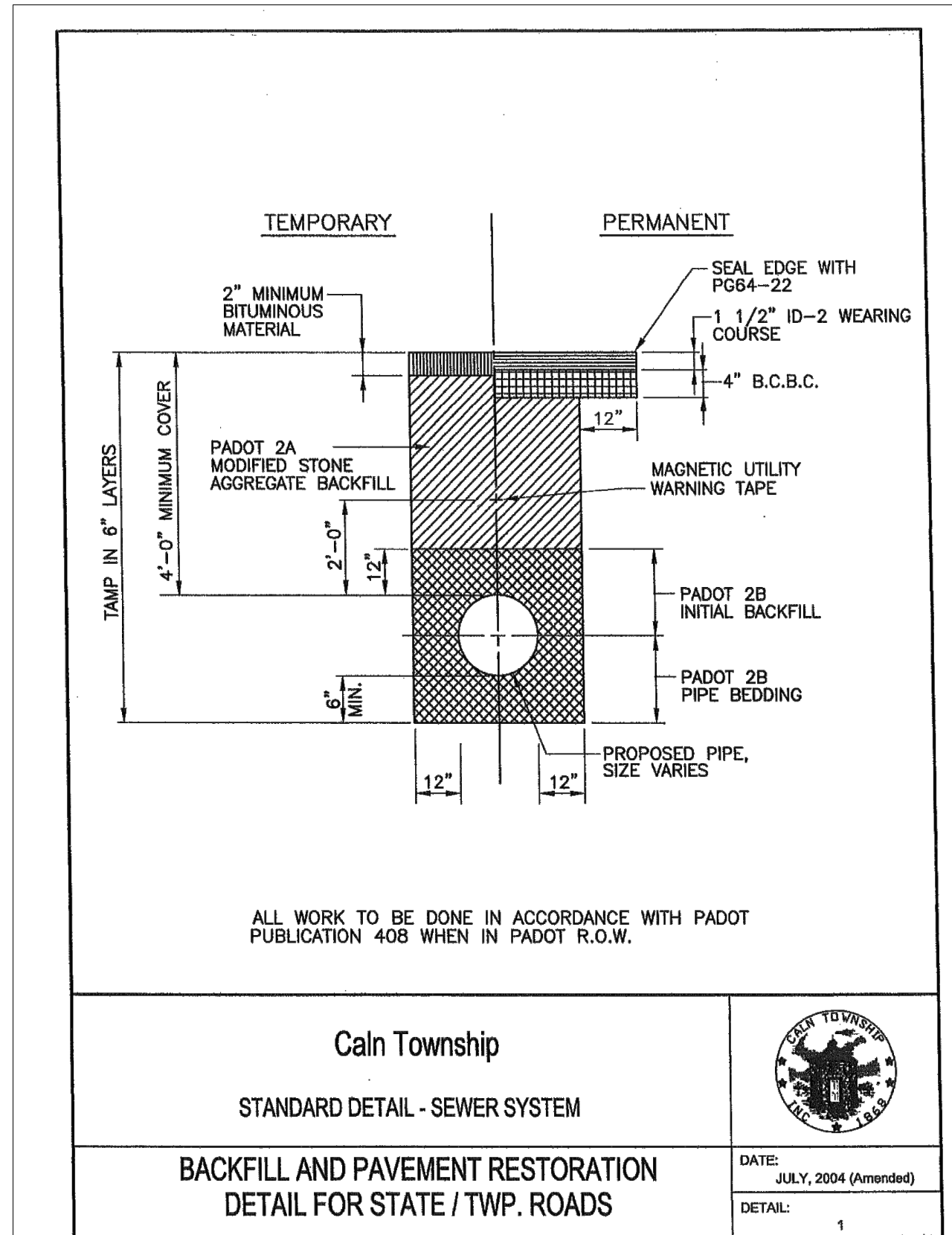
**BOHLER**  
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SHEET TITLE:  
**CONSTRUCTION  
DETAILS**

SHEET NUMBER:  
**C-903**

ORG. DATE - 10/04/2024



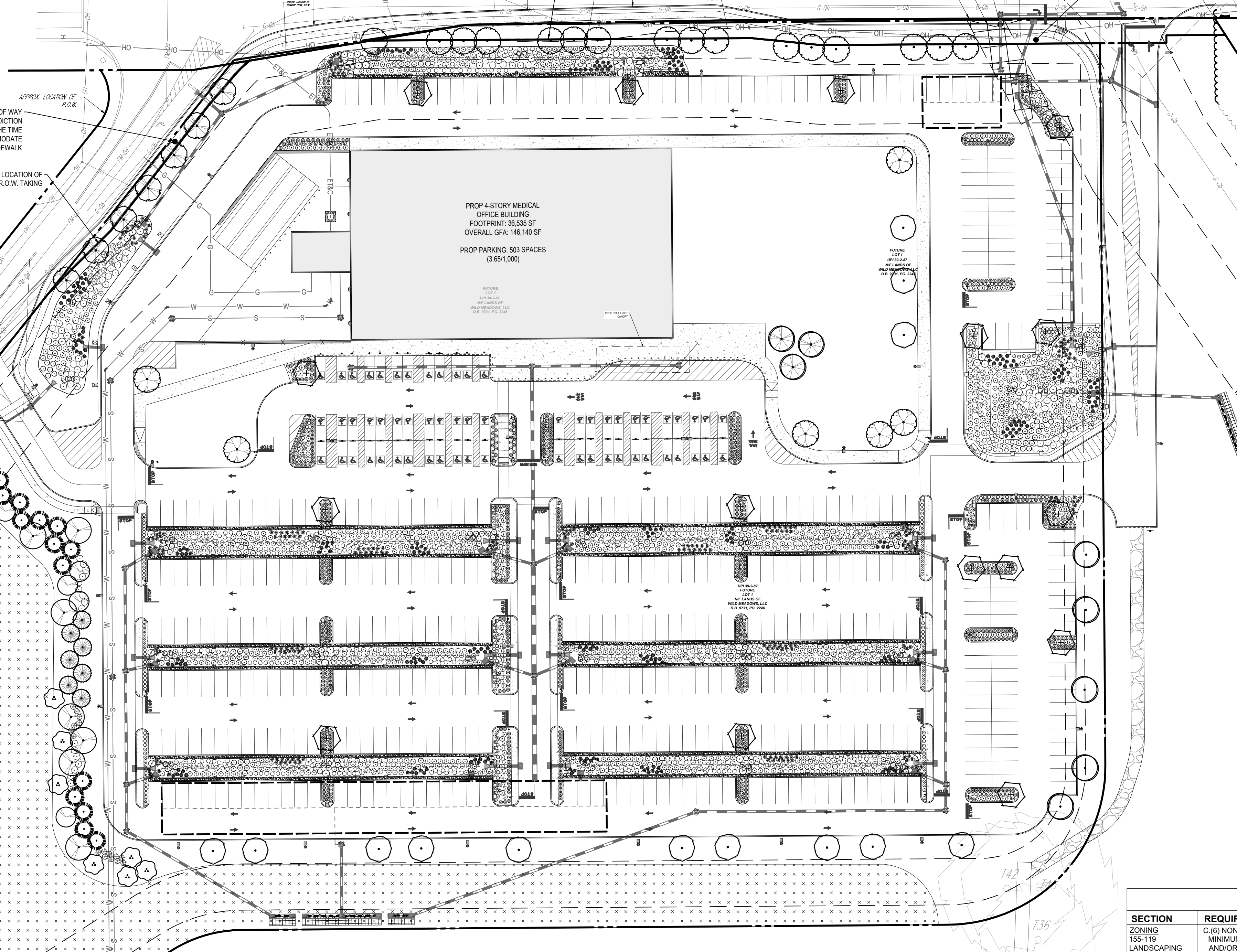


**HORSESHOE PIKE**

(A.K.A. STATE ROUTE 322)  
(A.K.A. MAJOR AVE.)  
(VARIABLE WIDTH R.O.W.)  
(ASPHALT ROADWAY)  
(TWO WAY TRAFFIC)

**ROCK RAYMOND ROAD**  
(ASPHALT ROADWAY)  
(TWO WAY TRAFFIC)

**LLOYD AVENUE**  
(A.K.A. NORTH LLOYD AVENUE (WMP ROAD))  
(VARIABLE WIDTH R.O.W.)  
(ASPHALT ROADWAY)  
(TWO WAY TRAFFIC)



PROPOSED LEGAL RIGHT OF WAY OFFERED TO JURISDICTION HAVING AUTHORITY AT THE TIME OF DEDICATION TO ACCOMMODATE GRASS STRIP AND SIDEWALK

APPROX. LOCATION OF FUTURE ULT. R.O.W. TAKING

PROP 4-STORY MEDICAL OFFICE BUILDING FOOTPRINT: 36,536 SF  
OVERALL GFA: 146,140 SF  
PROP PARKING: 503 SPACES (3.651:1,000)

UPI 30-2-37  
W/F LANDS OF  
WILD MEADOWS, LLC  
D.B. 9731, PG. 2246  
FUTURE LOT 1

UPI 30-2-87  
W/F LANDS OF  
WILD MEADOWS, LLC  
D.B. 9731, PG. 2246

**GENERAL LANDSCAPE NOTES**

- THIS PLAN IS TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY.
- ALL DISTURBED UNPAVED AREAS, EXCLUDING PLANTING BEDS, ARE TO BE INSTALLED AS LAWN IN ACCORDANCE WITH LANDSCAPE SPECIFICATION #2 C, UNLESS OTHERWISE STATED ON THIS PLAN.
- SHRUBS PLANTED ALONG HEAD-IN PARKING STALLS SHALL BE INSTALLED TO ALLOW A CLEARANCE OF TWO FEET FROM FACE OF CURB TO ALLOW FOR BUMPER OVERHANG.
- IF IRRIGATION IS REQUIRED BY THE OWNER OR APPROVING MUNICIPALITY, THE CONTRACTOR SHALL PROVIDE AN IRRIGATION SYSTEM MEETING THE SPECIFICATIONS OF THE CHOSEN PRODUCTS MANUFACTURER. THE IRRIGATION DESIGN SHALL ACCOMMODATE LAWN AND BED AREAS EACH UNDER SEPARATE ZONES TO MAXIMIZE WATER EFFICIENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ANY PERMITS REQUIRED FOR THE INSTALLATION OF AN IRRIGATION SYSTEM.
- PLANT MATERIAL SUBSTITUTIONS MUST BE FORMALLY SUBMITTED TO BOHLER AND THE MUNICIPAL ENGINEER AND LANDSCAPE CONSULTANTS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. ANY PLANT MATERIAL THAT ARE TO BE INSTALLED WITHIN STORMWATER BMP FEATURES MUST BE NATIVE SPECIES.
- WITHOUT EXCEPTION, WEED BARRIER FABRIC SHALL NOT BE INSTALLED WITHIN ANY BMP FACILITY. BMP FACILITIES INCLUDE RAINGARDENS, INFILTRATION TRENCHES, VEGETATIVE SWALES AND STORMWATER BASINS.

**THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY**



**PLANT SCHEDULE**

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
<b>CANOPY TREES</b>					
AROG	13	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	3" CAL	B&B
ASGM	8	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	3" CAL	B&B
GP	13	CINKOZA BLODA 'PRINCE OF WELLS'	PRINCE OF WELLS BIRCH	3" CAL	B&B
GTIK	16	GLEDITSIA TRIACANTHOS 'SKYCOLE'	SKYLINE THORNLESS HONEY LOCUST	3" CAL	B&B
LSR	10	LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA'	ROUND-LOBED SEEDLESS SWEET GUM	3" CAL	B&B
LT	7	LIRIODENDRON TULPIFERA	TULIP TREE	2 1/2" CAL	B&B
OV	16	OSTRYA VIRGINIANA	AMERICAN HOPHORNBEECH	3" CAL	B&B
QPH	3	QUERCUS PHELLOS	WILLOW OAK	3" CAL	B&B
ZS	5	ZELKOVA SERRATA	ZELKOVA	2 1/2" CAL	B&B
<b>EVERGREEN TREES</b>					
PIAB	14	PICEA ABIES	NORWAY SPRUCE	6-8"	B&B
PM	7	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	6-8"	B&B
<b>ORNAMENTAL TREES</b>					
CC	6	CERCIS CANADENSIS	EASTERN REDBUD	2-2 1/2" CAL	B&B
MV	10	MAGNOLIA VIRGINIANA	SWEET BAY	6-10"	B&B
<b>SHRUBS</b>					
AAB	17	ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA'	BRILLIANT RED CHOKEBERRY	3-4"	B&B
CAH	401	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSWEET (DWARF)	24-30"	CONTAINER
CSH	269	CORNUS SERICEA 'HELSEY'	HELSEY DOGWOOD	15-18"	CONTAINER
DGN	233	DELTOIDA GRACILIS 'NICKOY'	SLENDER DELTIDAZ	18-24"	CONTAINER
HOSQ	42	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN'	SNOW QUEEN OAKLEAF HYDRANGEA	24-30"	CONTAINER
IGC	102	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	24-30"	CONTAINER
IGS	330	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	24-30"	CONTAINER
IV	323	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE	24-30"	CONTAINER
IVJD	45	ILEX VERTICILLATA 'JIM DANDY'	JIM DANDY WINTERBERRY	30-36"	CONTAINER
IVRS	220	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	18-24"	CONTAINER
JHB	608	JUNIPERUS HORIZONTALIS 'MONBER'	ICEE BLUE JUNIPER	15-18" SPDR	CONTAINER
LB	116	LINCERA BENZONI	SPICEBUSH	30-36"	CONTAINER
RM	16	RHOODENDRON MAXIMUM	ROSE BAY RHOODENDRON	4-5"	B&B
VDC	94	VIBURNUM DENTATUM 'CHRISTOM'	BLUE MUFFIN VIBURNUM	3-4"	B&B
VR	165	VIBURNUM RHYTIDOPHYLLUM	LEATHERLEAF VIBURNUM	3-4"	B&B
<b>GRASSES</b>					
CPY	243	CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	1 GAL	CONTAINER
PIV	268	PANICUM VIRGATUM 'NORTH WIND'	NORTHWIND SWITCH GRASS	1 GAL	CONTAINER

**LANDSCAPE COMPLIANCE CHART**

SECTION	REQUIREMENT	CALCULATIONS (REQUIRED / PROVIDED)	COMPLIANCE
155-119 LANDSCAPING	C.(6) NONRESIDENTIAL DEVELOPMENTS SHALL PROVIDE A MINIMUM OF THREE SELECTED CANOPY, FLOWERINGS AND/OR EVERGREEN TREES PER GROSS ACRE.	TOTAL SITE AREA = 14.286 AC. REQUIRED: 14.286 x 3 = 42.85 OR 43 TREES PROVIDED: 6 ASGM, 13 GP, 16 GTIK, 3 QPH, 5 ZS (43 TREES)	COMPLIES
155-139 OFF-STREET PARKING AREAS	W.(2) RAISED PLANTER ISLANDS SHALL BE PLACED AT EACH END OF A ROW OF PARKING SPACES WHICH BEGINS OR TERMINATES AT AN INTERNAL CIRCULATION DRIVE AND WITHIN EACH ROW OF PARKING SPACES. THE RAISED PLANTER ISLANDS SHALL BE PLACED SO THAT THERE ARE NOT MORE THAN 15 OFF-STREET PARKING SPACES IN A CONTINUOUS ROW WITHOUT AN INTERVENING LANDSCAPED PLANTER ISLAND. RAISED CONTINUOUS CONCRETE CURBING SHALL BE REQUIRED AROUND EACH PLANTING ISLAND EACH SUCH ISLAND SHALL BE AT LEAST 180 SQUARE FEET IN SIZE AND PLANTED WITH SUITABLE LANDSCAPING MATERIALS.	RAISED PLANTER ISLANDS HAVE BEEN PROPOSED AT EACH END AND WITHIN EACH ROW OF PARKING. PLANTING ISLANDS HAVE BEEN PLANTED WITH SUITABLE LANDSCAPE MATERIALS.	COMPLIES
	W.(3) THE PERIMETER OF THE OFF-STREET PARKING AREA SHALL BE SUITABLY LANDSCAPED TO PROVIDE A VISUAL BUFFER OR TO ENHANCE THE ESTHETICS OF THE AREA ADJACENT TO THE OFF-STREET PARKING AREA. THE LANDSCAPING MATERIALS SHALL BE SELECTED FROM THE LIST CONTAINED WITHIN § 155-119 OF THIS CHAPTER.	THE PERIMETER OF THE PARKING AREAS HAVE BEEN SUITABLY LANDSCAPED.	COMPLIES
	W.(4) PARKING AREAS REQUIRED TO ACCOMMODATE NONRESIDENTIAL USES SHALL BE SCREENED FROM THE VIEW OF RESIDENTIAL USES LOCATED WITHIN THE R-1, R-2, R-3, R-4 AND R-5 DISTRICTS. THE SCREENING SHALL BE COMPOSED OF A FENCE, WALL AND/OR LANDSCAPING MATERIALS OF AT LEAST FOUR FEET IN HEIGHT WHICH SHALL BE DESIGNED TO OBSTRUCT HEADLIGHT GLARE AND SCREEN THE VIEW OF THE PARKED CARS.	PARKING AREAS HAVE BEEN SCREENED FROM RESIDENTIAL USES.	COMPLIES
SALDO 155-119 LANDSCAPING	B. WHERE REQUIRED BY THIS CHAPTER OR CHAPTER 155, SHADE TREES SHALL BE PLANTED WITH A MINIMUM CALIBER OF THREE INCHES AT FORTY-FOOT INTERVALS, OR AS OTHERWISE SPECIFIED BY THE TOWNSHIP ENGINEER.	TOTAL LENGTH ALONG HORSESHOE PIKE = 635 ± LF REQUIRED = 635 / 40 = 15.8 OR 16 TREES PROVIDED = 16 OV (16 TREES)	COMPLIES
		TOTAL LENGTH ALONG LLOYD AVE = 890 ± LF REQUIRED = 890 / 40 = 22.25 OR 23 TREES PROVIDED = 13 AROG, 10 LSR (23 TREES)	COMPLIES



**REVISIONS**

REV	DATE	COMMENT	DRAWN BY

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WWW.PH.GA.SHAPE  
#6202933143

PROJECT No.: PAC220255-00-0B  
DRAWN BY: SJA / AM  
CHECKED BY: LB / SP  
DATE: 10/04/2024  
CAD LID.: P-CIV-L-LGT

**SUBDIVISION / PRELIMINARY LAND DEVELOPMENT PLANS** FOR **MAIN LINE HEALTH, INC.**

PROPOSED MEDICAL CENTER  
5030 HORSESHOE PIKE  
CALN TOWNSHIP  
CHESTER COUNTY, PA  
UPI 32-2-87  
D.B. 9731, PG. 2246

**BOHLER**  
1515 MARKET STREET, SUITE 920  
PHILADELPHIA, PA 19102  
Phone: (267) 402-3400  
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SHEET TITLE:  
**OVERALL LANDSCAPE PLAN**  
SHEET NUMBER:  
**L-101**  
ORG. DATE - 10/04/2024

R:\0322\PAC220255-00\CADDRAWINGS\PLAN SET\CIVIL SITE PLANS\CIVIL LOT PLAN\L-101\_PAC220255-00-0B-L-101-LSDP-OVAL.dwg

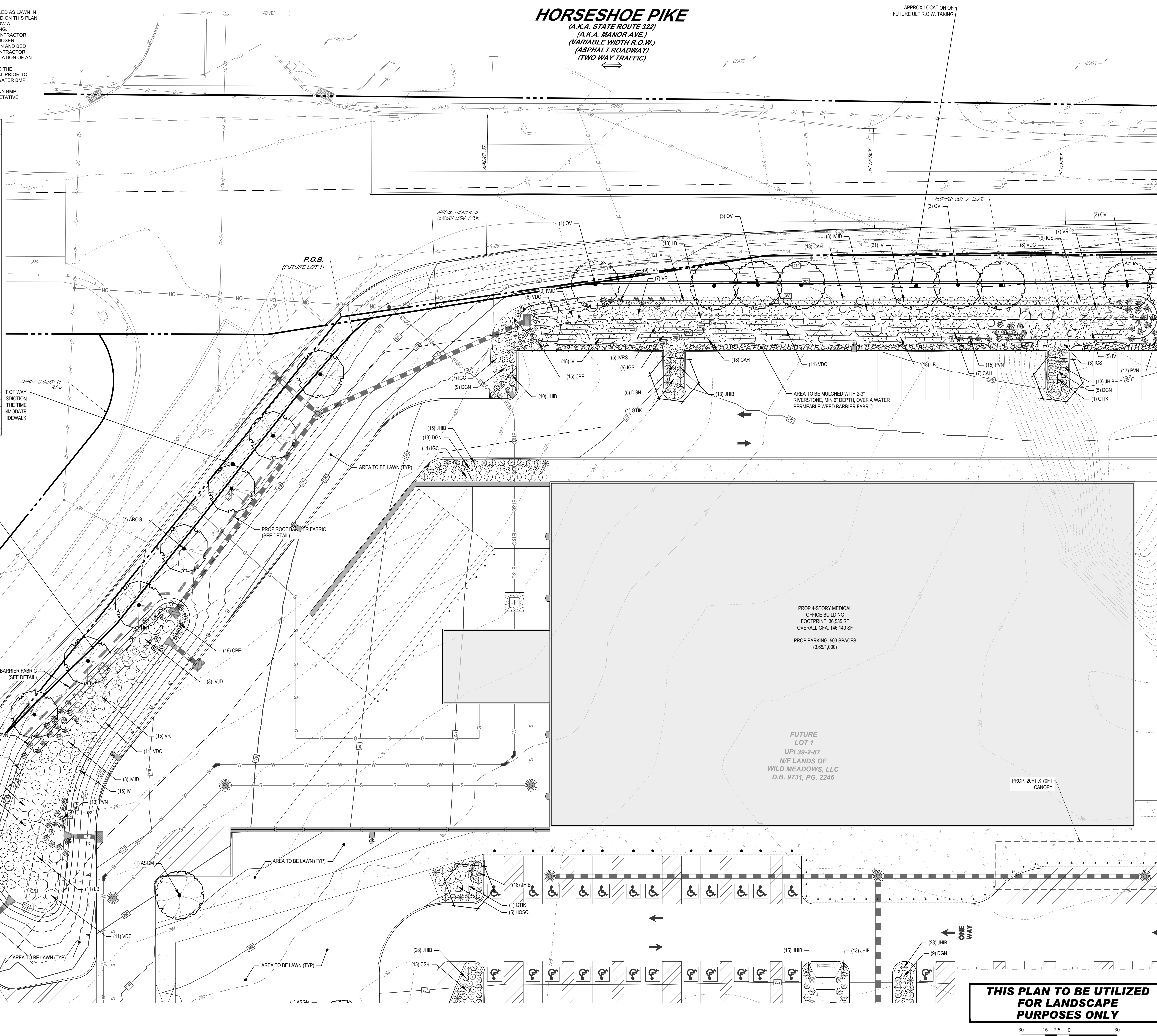
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**PLANT SCHEDULE**

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GP	13	GINKGO BILBOA 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR TREE	3" CAL	B&B
GTIK	16	GLEDITSIA TRIACANTHOS 'INERMIS' 'SKYCOLE'	SKYLINE THORNLESS HONEY LOCUST	3" CAL	B&B
LSR	10	LIQUIDAMBAR STRYACIFLUA 'ROTUNDOLOBA'	ROUND LOBED SEEDLESS SWEET GUM	3" CAL	B&B
LT	7	LIRIODENDRON TILIPIFERA	TULIP TREE	2.5" CAL	B&B
OV	16	OSTRYA VIRGINIANA	AMERICAN HOPHORNBEAM	3" CAL	B&B
OPH	3	QUERCUS PHELLOS	WILLOW OAK	3" CAL	B&B
ZS	5	ZELKOVA SERRATA	ZELKOVA	2.5" CAL	B&B
<b>EVERGREEN TREES</b>					
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PM	7	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	6-8"	B&B
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MV	10	MAGNOLIA VIRGINIANA	SWEET BAY	8-10"	B&B
<b>SHRUBS</b>					
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CSK	269	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	15-18"	CONTAINER
DGN	203	DEUTZIA GRACILIS 'NIKKO'	SLENDER DEUTZIA	18-24"	CONTAINER
HQSQ	42	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN'	SNOW QUEEN OAKLEAF HYDRANGEA	24-30"	CONTAINER
IGC	102	ILEX GLABRA 'COMPACTA'	COMPACT HICKBERRY	24-30"	CONTAINER
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VR	94	VIBURNUM DENTATUM 'CHRISTOM'	BLUE MUFFIN VIBURNUM	3-4"	B&B
VDC	185	VIBURNUM RHYTIDOPHYLLUM	LEATHERLEAF VIBURNUM	3-4"	B&B
<b>GRASSES</b>					
CPE	243	CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	1 GAL.	CONTAINER
PVN	268	PANICUM VIRGATUM 'NORTH WIND'	NORTHWIND SWITCH GRASS	1 GAL.	CONTAINER

**HORSESHOE PIKE**  
(A.K.A. STATE ROUTE 322)  
(A.K.A. MANOR AVE.)  
(VARIABLE WIDTH R.O.W.)  
(ASPHALT ROADWAY)  
(TWO WAY TRAFFIC)

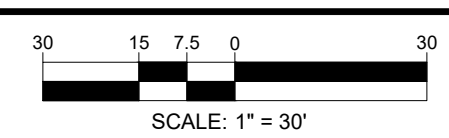


**LLOYD AVENUE**  
(A.K.A. NORTH LLOYD AVENUE (IMP ROAD))  
(VARIABLE WIDTH R.O.W.)  
(ASPHALT ROADWAY)  
(TWO WAY TRAFFIC)

PROP 4-STORY MEDICAL OFFICE BUILDING  
FOOTPRINT: 36,535 SF  
OVERALL GFA: 146,140 SF  
PROP PARKING: 503 SPACES (3,651,000)

FUTURE LOT 1  
UPI 39-2-87  
N/F LANDS OF WILD MEADOWS, LLC  
D.B. 9731, PG. 2246

**THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY**



**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERFORMANCE SERVICES  
TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY

ATTENTION ALL CONTRACTORS: LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 887 OF 2014 AS AMENDED BY ACT 50 OF 2017, CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK.  
WWW.PH.CALLING.COM  
856.297.3343

PROJECT No.: PAC220255-00-0B  
DRAWN BY: SJA / AM  
CHECKED BY: LB / SP  
DATE: 10/04/2024  
CAD ID: P-CIVIL-LTGT

PROJECT:  
**SUBDIVISION I  
PRELIMINARY LAND  
DEVELOPMENT  
PLANS**  
FOR  
**MAIN LINE  
HEALTH, INC.**  
PROPOSED MEDICAL CENTER  
5030 HORSESHOE PIKE  
CALN TOWNSHIP  
CHESTER COUNTY, PA  
UPI 32-2-87  
D.B. 9731, PG. 2246

**BOHLER**  
1515 MARKET STREET, SUITE 920  
PHILADELPHIA, PA 19102  
Phone: (267) 402-3400  
Fax: (267) 402-3401  
www.BohlerEngineering.com

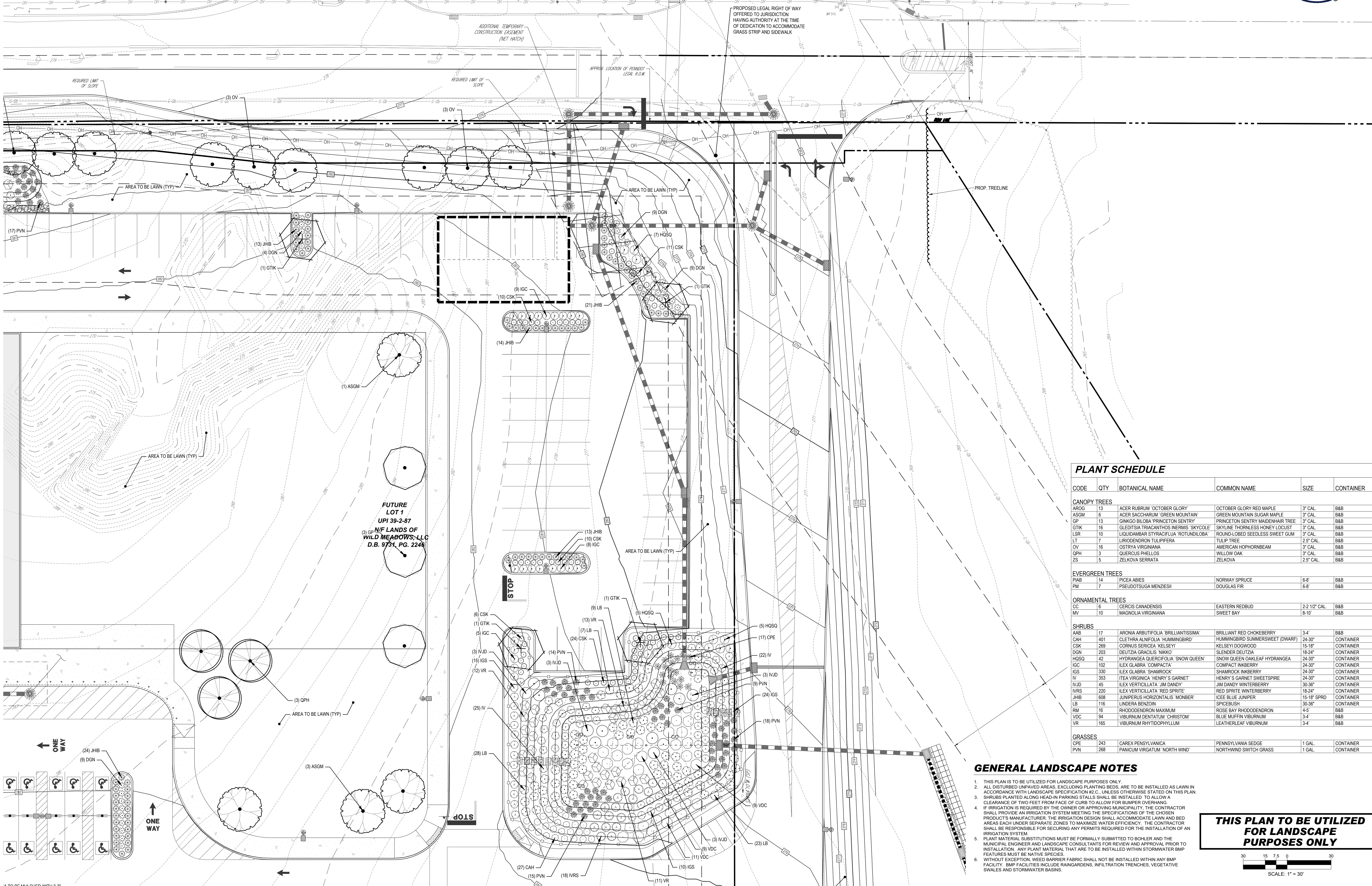
REGISTERED LANDSCAPE ARCHITECT  
PENNSYLVANIA LICENSE # LG002729  
D. T. NORTH

SHEET TITLE:  
**LANDSCAPE  
PLAN A**  
SHEET NUMBER:  
**L-102**  
ORG. DATE - 10/04/2024

R:\2022\PAC220255-00-0B\DRAWINGS\PLAN SET\CIVIL SITE PLANS\SP-CIVIL-LOT1-PAC220255-00-0B-LAYOUT\_L-102\_LSCD-A

**HORSESHOE PIKE**  
 (A.K.A. STATE ROUTE 322)  
 (A.K.A. MANOR AVE.)  
 (VARIABLE WIDTH R.O.W.)  
 (ASPHALT ROADWAY)  
 (TWO WAY TRAFFIC)

**ROY ROY**  
 (ASPHALT ROADWAY)  
 (TWO WAY)



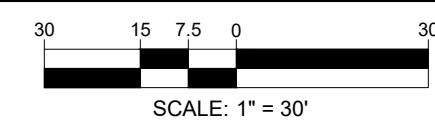
**PLANT SCHEDULE**

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
<b>CANOPY TREES</b>					
ARGO	13	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	3" CAL	B&B
ASGM	6	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	3" CAL	B&B
GP	13	GINKGO BILIBA 'PRINCETON SENTRY'	PRINCETON SENTRY MAMMIAHAR TREE	3" CAL	B&B
GTK	16	GLEDITSIA TRICANTHOS NERIS 'SKYCOLE'	SKYLINE THORNLESS HONEY LOCUST	3" CAL	B&B
LSR	10	LIQUIDAMBAR STYRACIFLUA 'ROTUNDOLOBA'	ROUNDLOBED SEEDLESS SWEET GUM	3" CAL	B&B
LT	7	LIRIODENDRON TULIPIFERA	TULIP TREE	2.5" CAL	B&B
OV	16	OSTRYA VIRGINIANA	AMERICAN HOPHORNBEAM	3" CAL	B&B
QPH	3	QUERCUS PHELLOS	WILLOW OAK	3" CAL	B&B
ZKS	5	ZELKOYA SERRATA	ZELKOVA	2.5" CAL	B&B
<b>EVERGREEN TREES</b>					
PIAB	14	PICEA ABIES	NORWAY SPRUCE	6-8'	B&B
PM	7	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	6-8'	B&B
<b>ORNAMENTAL TREES</b>					
CC	6	CERCIS CANADENSIS	EASTERN REDBUD	2-2 1/2" CAL	B&B
MV	10	MAGNOLIA VIRGINIANA	SWEET BAY	8-10'	B&B
<b>SHRUBS</b>					
AAB	17	ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA'	BRILLIANT RED CHOKEBERRY	3-4'	B&B
CAH	401	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSWEET (DWARF)	24-30"	CONTAINER
CSK	269	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	15-18"	CONTAINER
DGN	203	DEUTZIA GRACILIS 'NIRKO'	SLENDER DEUTZIA	18-24"	CONTAINER
HSGQ	42	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN'	SNOW QUEEN OXLEAF HYDRANGEA	24-30"	CONTAINER
IGC	102	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	24-30"	CONTAINER
IGS	330	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	24-30"	CONTAINER
IV	353	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPICE	24-30"	CONTAINER
IVD	45	ILEX VERTICILLATA 'JIM DANDY'	JIM DANDY WINTERBERRY	30-36"	CONTAINER
IVRS	220	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	18-24"	CONTAINER
JHB	608	JUNIPERUS HORIZONTALIS 'MONBER'	ICEE BLUE JUNIPER	15-18" SPDR	CONTAINER
LB	116	LINDERA BENZOIN	SPICEBUSH	30-36"	CONTAINER
RM	16	RHOODOENDRON MAXIMUM	ROSE BAY RHODOENDRON	4-5'	B&B
VDC	94	VIBURNUM DENTATUM 'CHRISTOM'	BLUE BUFF VIBURNUM	3-4'	B&B
VR	165	VIBURNUM RHYTIDOPHYLLUM	LEATHERLEAF VIBURNUM	3-4'	B&B
<b>GRASSES</b>					
CPE	243	CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	1 GAL.	CONTAINER
PVN	268	PANICUM VIRGATUM 'NORTH WIND'	NORTHWIND SWITCH GRASS	1 GAL.	CONTAINER

**GENERAL LANDSCAPE NOTES**

- THIS PLAN IS TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY.
- ALL DISTURBED UNPAVED AREAS, EXCLUDING PLANTING BEDS, ARE TO BE INSTALLED AS LAWN IN ACCORDANCE WITH LANDSCAPE SPECIFICATION #2-C, UNLESS OTHERWISE STATED ON THIS PLAN.
- SHRUBS PLANTED ALONG HEAD-IN PARKING STALLS SHALL BE INSTALLED TO ALLOW A CLEARANCE OF TWO FEET FROM FACE OF CURB TO ALLOW FOR BUMPER OVERHANG.
- IF IRRIGATION IS REQUIRED BY THE OWNER OR APPROVING MUNICIPALITY, THE CONTRACTOR SHALL PROVIDE AN IRRIGATION SYSTEM MEETING THE SPECIFICATIONS OF THE CHOSEN PRODUCTS MANUFACTURER. THE IRRIGATION DESIGN SHALL ACCOMMODATE LAWN AND BED AREAS EACH UNDER SEPARATE ZONES TO MAXIMIZE WATER EFFICIENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ANY PERMITS REQUIRED FOR THE INSTALLATION OF AN IRRIGATION SYSTEM.
- PLANT MATERIAL SUBSTITUTIONS MUST BE FORMALLY SUBMITTED TO BOHLER AND THE MUNICIPAL ENGINEER AND LANDSCAPE CONSULTANTS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. ANY PLANT MATERIAL THAT ARE TO BE INSTALLED WITHIN STORMWATER BMP FEATURES MUST BE NATIVE SPECIES.
- WITHOUT EXCEPTION, WEED BARRIER FABRIC SHALL NOT BE INSTALLED WITHIN ANY BMP FACILITY. BMP FACILITIES INCLUDE RAINGARDENS, INFILTRATION TRENCHES, VEGETATIVE SWALES AND STORMWATER BASINS.

**THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY**



**BOHLER**  
 SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY

ATTENTION ALL CONTRACTORS:  
 UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 887 OF 2014 AS AMENDED BY ACT 50 OF 2017, CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK.  
 WWW.PH.CALLING  
 #6102373143

PROJECT No.: PAC220255-00-0B  
 DRAWN BY: SJA / AM  
 CHECKED BY: LB / SP  
 DATE: 10/04/2024  
 CAD ID: P-CIVL-LJGT

**SUBDIVISION I  
 PRELIMINARY LAND  
 DEVELOPMENT  
 PLANS**  
 FOR

**MAIN LINE  
 HEALTH, INC.**

PROPOSED MEDICAL CENTER  
 CALN TOWNSHIP  
 CHESTER COUNTY, PA  
 UPI 32-2-87  
 D.B. 9731, PG. 2246

**BOHLER**  
 1515 MARKET STREET, SUITE 920  
 PHILADELPHIA, PA 19102  
 Phone: (267) 402-3400  
 Fax: (267) 402-3401  
 www.BohlerEngineering.com



SHEET TITLE:  
**LANDSCAPE  
 PLAN B**  
 SHEET NUMBER:  
**L-103**  
 ORG. DATE - 10/04/2024

R:\2024\220255-00\CADD\DRAWINGS\PLAN SET\CIVIL SITE PLANS\PI-CIVL-LOT1-PAC220255-00-0B-LAYOUT\_L-103\_LSCP-B



**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

ATTENTION ALL CONTRACTORS: UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF THIS SIZE, DEPTH OR HORIZONTAL LOCATION OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 887 OF 2014 AS AMENDED BY ACT 50 OF 2017. CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK.  
 WWW.PH.CALLING  
 482.627.3343

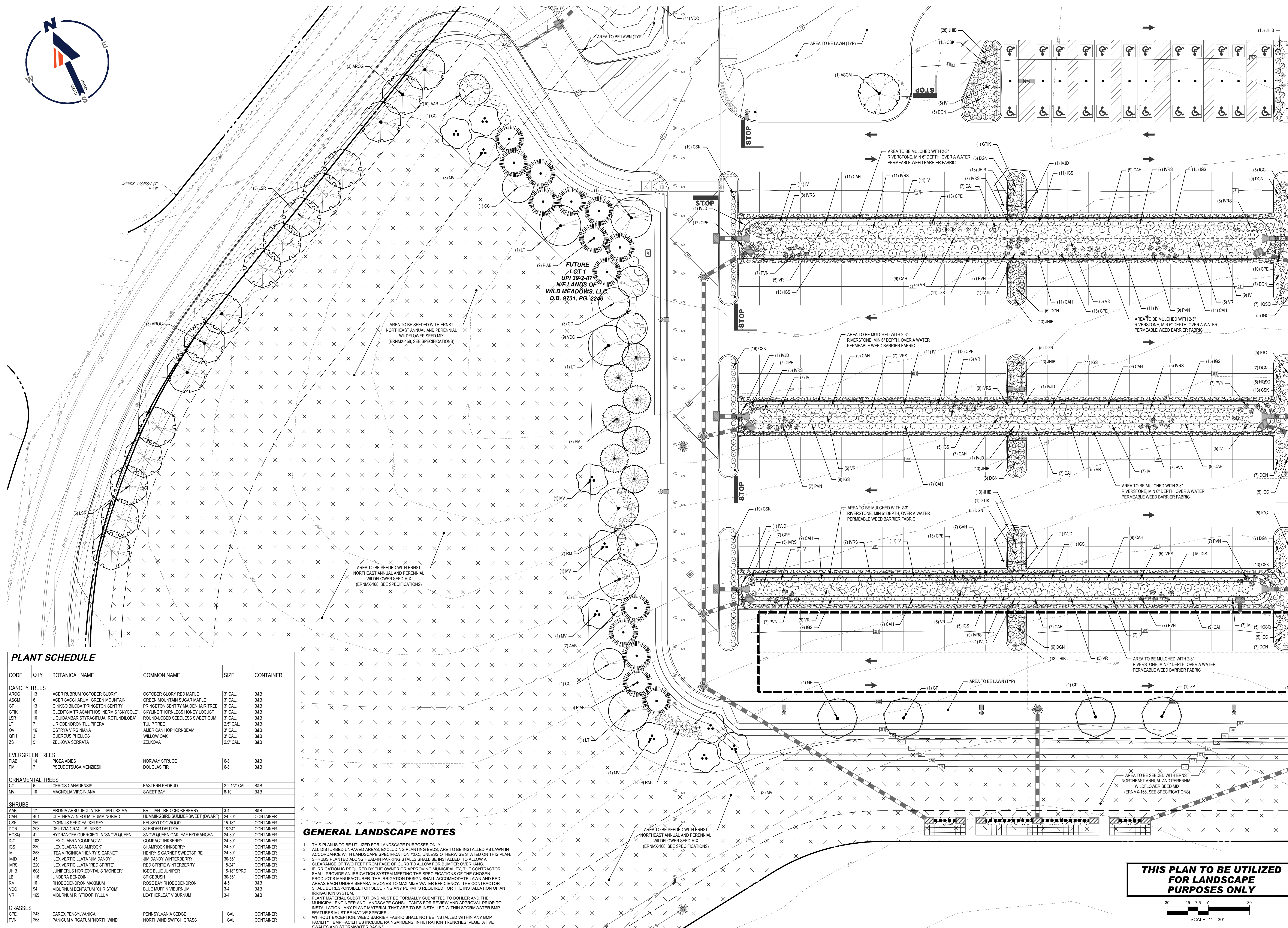
PROJECT No.: PAC220255-00-B  
 DRAWN BY: SJA / AM  
 CHECKED BY: LB / SP  
 DATE: 10/04/2024  
 CAD LDT: P-CIV-L-LGT

PROJECT:  
**SUBDIVISION I  
 PRELIMINARY LAND  
 DEVELOPMENT  
 PLANS**  
 FOR  
**MAIN LINE  
 HEALTH, INC.**  
 3030 HORSESHOE PIKE  
 CALN TOWNSHIP  
 CHESTER COUNTY, PA  
 UPI 32-2-87  
 D.B. 9731, PG. 2246

**BOHLER**  
 1515 MARKET STREET, SUITE 920  
 PHILADELPHIA, PA 19102  
 Phone: (267) 402-3400  
 Fax: (267) 402-3401  
 www.BohlerEngineering.com

**D. T. NORTH**  
 REGISTERED LANDSCAPE ARCHITECT  
 PENNSYLVANIA LICENSE NO. LG02729  
 REGISTERED LANDSCAPE ARCHITECT

SHEET TITLE:  
**LANDSCAPE  
 PLAN C**  
 SHEET NUMBER:  
**L-104**  
 ORG. DATE - 10/04/2024



**PLANT SCHEDULE**

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
<b>CANOPY TREES</b>					
AROG	13	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	3" CAL	B&B
ASGM	6	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	3" CAL	B&B
GP	13	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR TREE	3" CAL	B&B
GTIK	16	GLIEDITSIA TRIACANTHOS 'MERIS' SKYCOLE	SKYLINE THORNLESS HONEY LOCUST	3" CAL	B&B
LSR	10	LIQUIDAMBAR STRYACIA 'ROTUNDILOBA'	ROUND-LEAF SEEDLESS SWEET GUM	3" CAL	B&B
LT	7	LIRIODENDRON TULIPIFERA	TULIP TREE	2.5" CAL	B&B
OV	16	OSTRYA VIRGINIANA	AMERICAN HOPHORNBEAM	3" CAL	B&B
QPH	3	QUERCUS PHELLOS	WILLOW OAK	3" CAL	B&B
ZS	5	ZELKOVA SERRATA	ZELKOVA	2.5" CAL	B&B
<b>EVERGREEN TREES</b>					
PIAB	14	PICEA ABIES	NORWAY SPRUCE	6-8"	B&B
PM	7	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	6-8"	B&B
<b>ORNAMENTAL TREES</b>					
CC	6	CERCIS CANADENSIS	EASTERN REDBUD	2-2 1/2" CAL	B&B
MV	10	MAGNOLIA VIRGINIANA	SWEET BAY	8-10"	B&B
<b>SHRUBS</b>					
AAB	17	ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA'	BRIGHT RED CHOKEBERRY	3-4"	B&B
CAH	401	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSWEET (DWARF)	24-30"	CONTAINER
CSK	269	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	15-18"	CONTAINER
DGN	203	DEUTZIA GRACILIS 'NIKO'	SLENDER DEUTZIA	18-24"	CONTAINER
HOSQ	42	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN'	SNOW QUEEN OAKLEAF HYDRANGEA	24-30"	CONTAINER
IGC	102	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	24-30"	CONTAINER
IGS	330	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	24-30"	CONTAINER
IVJ	353	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPICE	24-30"	CONTAINER
IVD	45	ILEX VERTICILLATA 'JIM DANDY'	JIM DANDY WINTERBERRY	30-36"	CONTAINER
IVRS	220	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	18-24"	CONTAINER
JHB	608	JUNIPERUS HORIZONTALIS 'MONBER'	ICEE BLUE JUNIPER	15-18" SPRD	CONTAINER
LB	116	LINDERA BENZONIN	SPICEBUSH	30-36"	CONTAINER
RM	16	RHOODODENDRON MAXIMUM	ROSE BAY RHODODENDRON	4-5"	B&B
VDC	54	VIBURNUM DENTATUM 'CHRISTOM'	BLUE WIFFEN VIBURNUM	3-4"	B&B
VR	195	VIBURNUM RHYTHOPHYLLUM	LEATHERLEAF VIBURNUM	3-4"	B&B
<b>GRASSES</b>					
CPE	243	CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	1 GAL	CONTAINER
PVN	288	PANICUM VIRGATUM 'NORTH WIND'	NORTHWIND SWITCH GRASS	1 GAL	CONTAINER

**GENERAL LANDSCAPE NOTES**

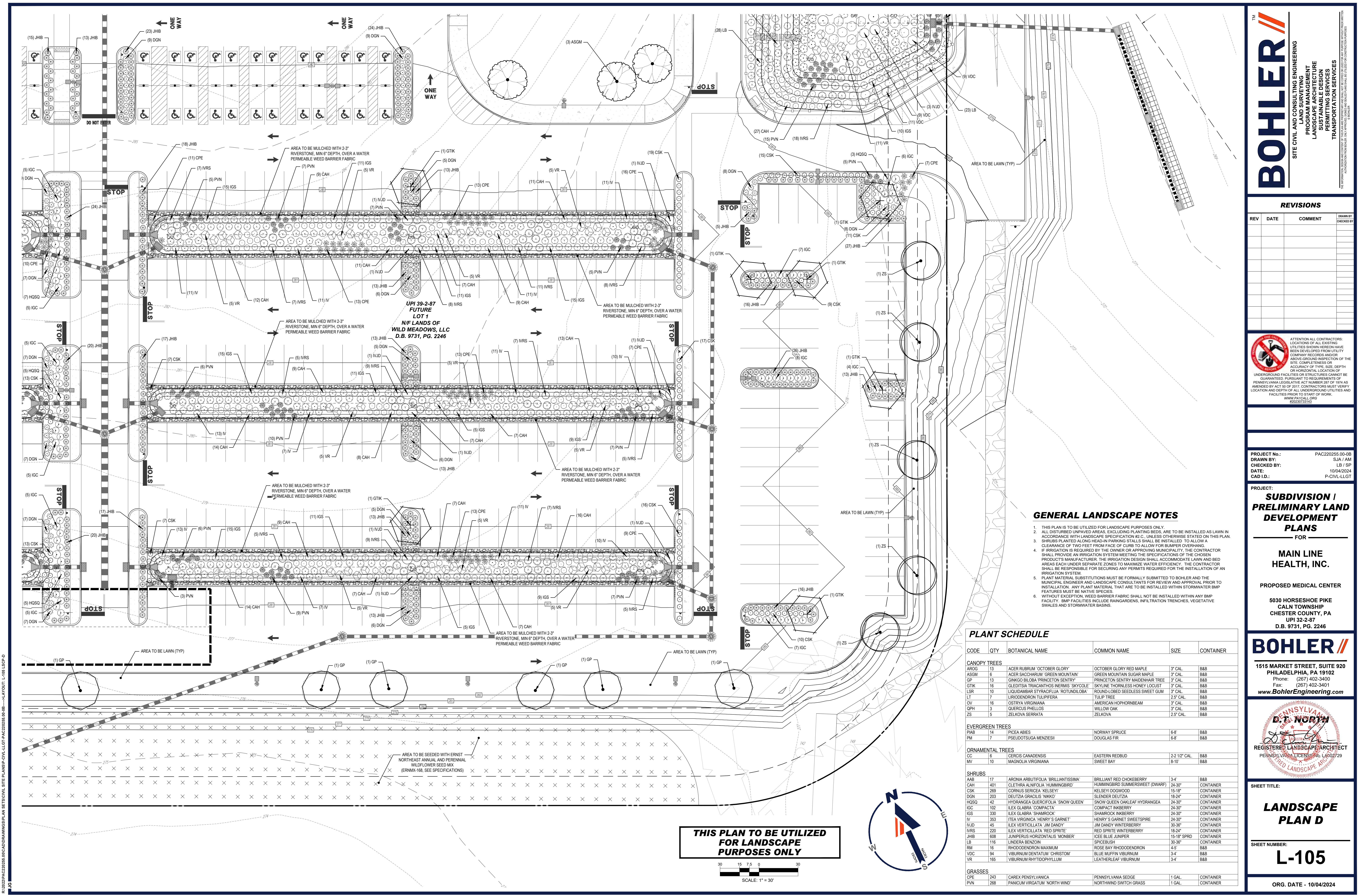
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**THIS PLAN TO BE UTILIZED  
 FOR LANDSCAPE  
 PURPOSES ONLY**

SCALE: 1" = 30'

R:\0222\PAC220255-00-B\CADDRAWINGS\PLAN SET\CIVIL SITE PLANS\CIVIL LAYOUT\_PAC220255-00-B\LAYOUT\_L-104\_LSDP-C





**REVISIONS**

REV	DATE	COMMENT	DRAWN BY

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PROJECT No.: PAC220255-00-0B  
 DRAWN BY: SJA / AM  
 CHECKED BY: LB / SP  
 DATE: 10/04/2024  
 CAD ID: P-CIVL-LJGT

**SUBDIVISION I PRELIMINARY LAND DEVELOPMENT PLANS**  
 FOR

**MAIN LINE HEALTH, INC.**

PROPOSED MEDICAL CENTER

5030 HORSESHOE PIKE  
 CALN TOWNSHIP  
 CHESTER COUNTY, PA  
 UPI 32-2-87  
 D.B. 9731, PG. 2246

**D.T. NORTH**  
 REGISTERED LANDSCAPE ARCHITECT  
 PENNSYLVANIA LICENSE NO. 1602729

**LANDSCAPE PLAN D**

SHEET NUMBER:  
**L-105**

ORG. DATE - 10/04/2024

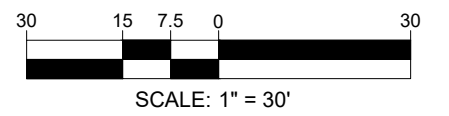
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**PLANT SCHEDULE**

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
<b>CANOPY TREES</b>					
AROG	13	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	3" CAL	B&B
ASGM	6	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	3" CAL	B&B
GP	13	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR TREE	3" CAL	B&B
GTK	16	GLEDITSIA TRIACANTHOS 'INERMIS' SKYCOLE	SKYLINE THORNLESS HONEY LOCUST	3" CAL	B&B
LSR	10	LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA'	ROUND-LEAVED SEEDLESS SWEET GUM	3" CAL	B&B
LT	7	LIRIODENDRON TULIPIFERA	TULIP TREE	2.5" CAL	B&B
OV	16	OSTRYA VIRGINIANA	AMERICAN HOPHORNBEAM	3" CAL	B&B
OPH	3	QUERCUS PHELLOS	WILLOW OAK	3" CAL	B&B
ZS	5	ZELKOVA SERRATA	ZELKOVA	2.5" CAL	B&B
<b>EVERGREEN TREES</b>					
PIAB	14	PICEA ABIES	NORWAY SPRUCE	6-8"	B&B
PM	7	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	6-8"	B&B
<b>ORNAMENTAL TREES</b>					
CC	16	CERCIS CANADENSIS	EASTERN REDBUD	2.2" 12" CAL	B&B
MV	10	MAGNOLIA VIRGINIANA	SWEET BAY	8-10"	B&B
<b>SHRUBS</b>					
AAB	17	ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA'	BRILLIANT RED CHOKEBERRY	3-4"	B&B
CAH	401	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSWEET (DWARF)	24-30"	CONTAINER
CSK	269	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	15-18"	CONTAINER
DGN	203	DEUTZIA GRACILIS 'NIKKO'	SLENDER DEUTZIA	18-24"	CONTAINER
HQSQ	42	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN'	SNOW QUEEN OAKLEAF HYDRANGEA	24-30"	CONTAINER
IGC	102	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	24-30"	CONTAINER
IGS	330	ILEX GLABRA 'SHARPOCK'	SHARPOCK INKBERRY	24-30"	CONTAINER
IV	353	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPICE	24-30"	CONTAINER
IVJD	45	ILEX VERTICILLATA 'JIM DANDY'	JIM DANDY WINTERBERRY	30-36"	CONTAINER
IVRS	220	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	18-24"	CONTAINER
JHB	656	JUNIPERUS HORIZONTALIS 'MONBER'	'ICE BLUE' JUNIPER	15-18" SPHD	CONTAINER
LB	116	LINDERA BENZON	SPICEBUSH	30-36"	CONTAINER
RM	16	RHOODOENDRON MAXIMUM	ROSE BAY RHOODOENDRON	4-5"	B&B
VDC	94	VIBURNUM DENTATUM 'CHRISTOM'	BLUE MUFFIN VIBURNUM	3-4"	B&B
VR	165	VIBURNUM RHYTIDOPHYLLUM	LEATHERLEAF VIBURNUM	3-4"	B&B
<b>GRASSES</b>					
CPE	243	CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	1 GAL.	CONTAINER
PVN	288	PANICUM VIRGATUM 'NORTH WIND'	NORTHWIND SWITCH GRASS	1 GAL.	CONTAINER

**THIS PLAN IS TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY**



R:\2022\220255-00\CAD\DRAWINGS\PLAN SET\CIVIL SITE PLANS\CIVIL LOT 1\UPL 32-2-87\LANDSCAPE PLAN D\L-105 LSCD-P.DWG



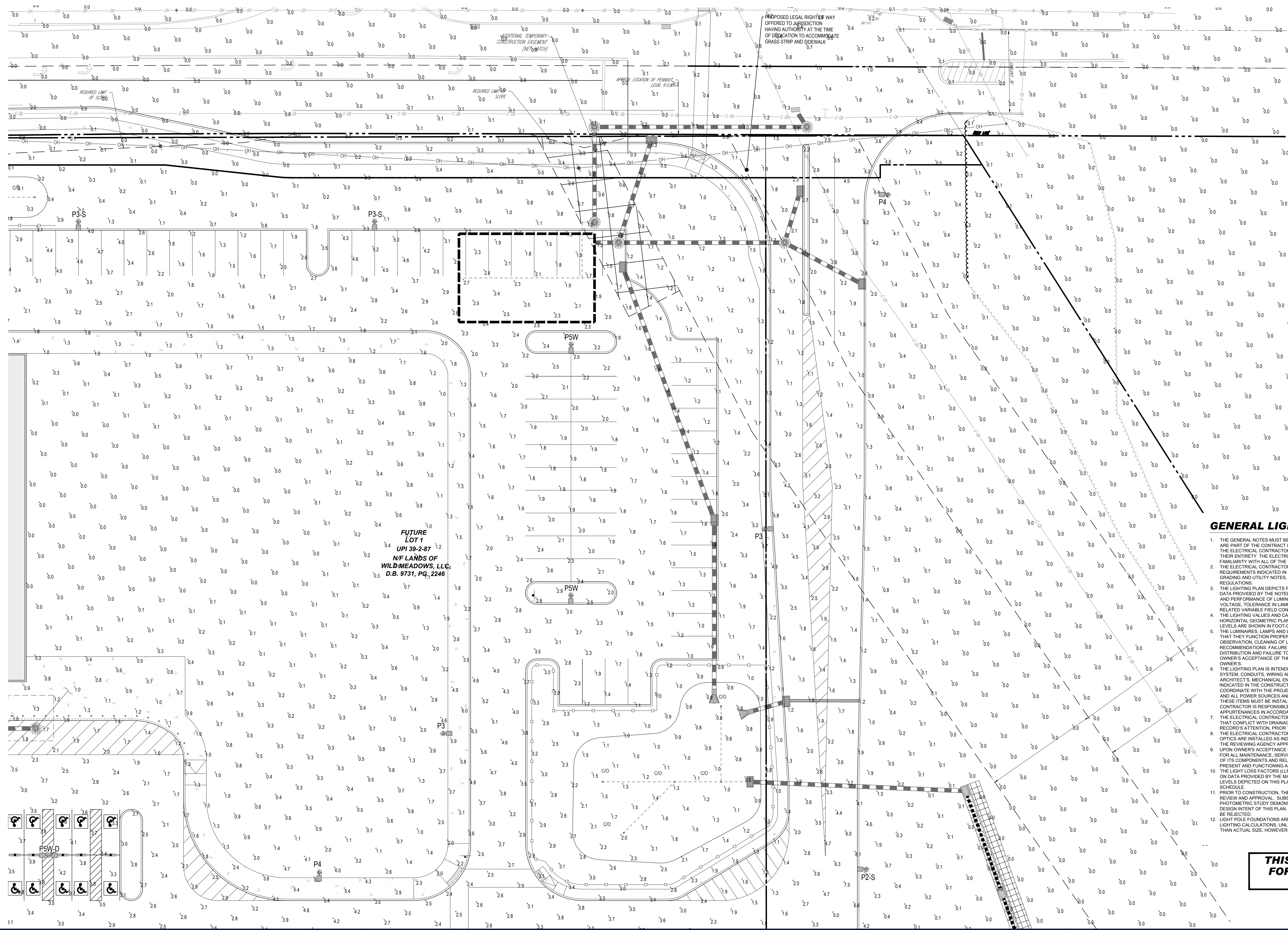
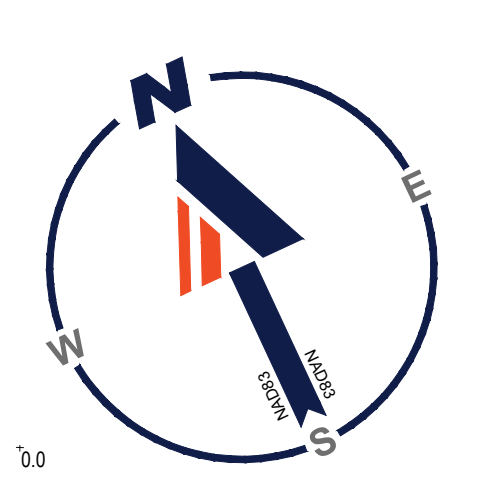




CALCULATION SUMMARY						
LABEL	CLC TYPE	UNITS	AVG	MAX	MIN	AVGMIN
ALL POINTS	ILLUMINANCE	Fc	0.68	8.4	0.0	N.A.
ACCESS DRIVE - EAST	ILLUMINANCE	Fc	2.72	8.1	1.0	2.72
ACCESS DRIVE - WEST	ILLUMINANCE	Fc	2.41	5.4	1.0	2.41
BUILDING REAR	ILLUMINANCE	Fc	2.51	6.7	1.0	2.51
PARKING AREA - NORTH	ILLUMINANCE	Fc	2.15	5.9	1.0	2.15
PARKING AREA - SOUTH	ILLUMINANCE	Fc	2.20	5.3	1.0	2.20

LUMINAIRE SCHEDULE						
LABEL	QTY	MOUNTING HEIGHT	ARRANGEMENT	LUM. LUMENS	LLF	DESCRIPTION
P2-S	1	25'-0" AFG	SINGLE	20575	0.900	GARDCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 2 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (ECF-S-64L-1A-NW-G2-AR-2-X-HIS)
P3	2	25'-0" AFG	SINGLE	26280	0.900	GARDCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 3, ZERO UP-LIGHT (ECF-S-64L-1A-NW-G2-AR-3-X)
P3-S	4	25'-0" AFG	SINGLE	20935	0.900	GARDCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 3 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (ECF-S-64L-1A-NW-G2-AR-3-X-HIS)
P4	3	25'-0" AFG	SINGLE	27494	0.900	GARDCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 4, ZERO UP-LIGHT (ECF-S-64L-1A-NW-G2-AR-4-X)
P4-S	10	25'-0" AFG	SINGLE	21559	0.900	GARDCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 4 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (ECF-S-64L-1A-NW-G2-AR-4-X-HIS)
PSW	5	25'-0" AFG	SINGLE	27330	0.900	GARDCO BY SIGNIFY, STRAIGHT SQUARE STEEL POLE, 22'-6" LENGTH (SSS-CB-4-11-22.5-D1-DT5)
PSW-D	8	25'-0" AFG	BACK-BACK	27330	0.900	GARDCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 5W, ZERO UP-LIGHT (ECF-S-64L-1A-NW-G2-AR-5W-X)
W4	4	25'-0" AFG	SINGLE	2464	0.900	GARDCO BY SIGNIFY, PUREFORM LED WALL SCONCE, TYPE 4, ZERO UP-LIGHT (PWS-196L-40W-G2-4-EBP-C-X)

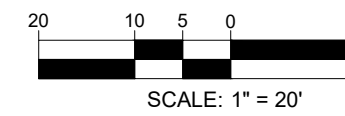
LABEL	QTY	MOUNTING HEIGHT	ARRANGEMENT	LUM. LUMENS	LLF	DESCRIPTION
POLE						
						GARDCO BY SIGNIFY, STRAIGHT SQUARE STEEL POLE, 22'-6" LENGTH (SSS-CB-4-11-22.5-D1-DT5)
						GARDCO BY SIGNIFY, STRAIGHT SQUARE STEEL POLE, 22'-6" LENGTH (SSS-CB-4-11-22.5-D1-DT5)
						GARDCO BY SIGNIFY, STRAIGHT SQUARE STEEL POLE, 22'-6" LENGTH (SSS-CB-4-11-22.5-D1-DT5)
						GARDCO BY SIGNIFY, STRAIGHT SQUARE STEEL POLE, 22'-6" LENGTH (SSS-CB-4-11-22.5-D1-DT5)
						GARDCO BY SIGNIFY, STRAIGHT SQUARE STEEL POLE, 22'-6" LENGTH (SSS-CB-4-11-22.5-D1-DT5)
						GARDCO BY SIGNIFY, STRAIGHT SQUARE STEEL POLE, 22'-6" LENGTH (SSS-CB-4-11-22.5-D1-DT5)
						GARDCO BY SIGNIFY, STRAIGHT SQUARE STEEL POLE, 22'-6" LENGTH (SSS-CB-4-11-22.5-D1-DT5)



**GENERAL LIGHTING NOTES**

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE ELECTRICAL CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES.
2. THE ELECTRICAL CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE THE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
3. THE ELECTRICAL CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE PLANS, INCLUDING BUT NOT LIMITED TO GENERAL GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND GOVERNMENTAL REGULATIONS.
4. THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL, SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
5. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDELS (FC).
6. THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND REPLACING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE OWNER'S.
7. THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES. POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECT'S, MECHANICAL ENGINEER'S AND/OR ELECTRICAL CONTRACTOR'S RESPONSIBILITY, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE DEVICES MUST BE INSTALLED AND TESTED TO ENSURE THAT SHIELDING AND/OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.
8. UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS TO ENSURE THAT THE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.
9. THE LIGHT LOSS FACTORS (LLF) DEPICTED IN THE LUMINAIRE SCHEDULE ON THIS PLAN ARE BASED ON DATA PROVIDED BY THE MANUFACTURER FOLLOWING IES LM-79 TESTING. THE LIGHT LEVELS DEPICTED ON THIS PLAN WERE CALCULATED BASED ON THE LLF LISTED IN THE LUMINAIRE SCHEDULE.
10. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO BOHLER FOR REVIEW AND APPROVAL. SUBSTITUTION REQUESTS MUST BE ACCOMPANIED BY A HORIZONTAL PHOTOMETRIC STUDY DEMONSTRATING THAT THE LUMINAIRE(S) QUESTION WILL MEET THE DESIGN INTENT OF THIS PLAN. SUBSTITUTION REQUESTS WITHOUT A PHOTOMETRIC STUDY WILL BE REJECTED.
11. LIGHT POLE FOUNDATIONS ARE SHOWN ON THE PLAN IN THE INTENDED LOCATION BASED ON THE LIGHTING CALCULATIONS. UNLESS OTHERWISE NOTED, LIGHT SYMBOLS ARE SHOWN LARGER THAN ACTUAL SIZE, HOWEVER FOUNDATION SIZE IS SHOWN AT ACTUAL SIZE.

**THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY**



**BOHLER**™  
 SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY

ATTENTION ALL CONTRACTORS: UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 887 OF 2014, AS AMENDED BY ACT 50 OF 2017, CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK.  
 WWW.PH.CALLING.COM  
 820.937.3343

PROJECT No.: PAC220255-00-0B  
 DRAWN BY: SJA / AM  
 CHECKED BY: LB / SP  
 DATE: 10/04/2024  
 CAD ID: P-CIVL-LGIT

PROJECT:  
**SUBDIVISION / PRELIMINARY LAND DEVELOPMENT PLANS**  
 FOR  
**MAIN LINE HEALTH, INC.**

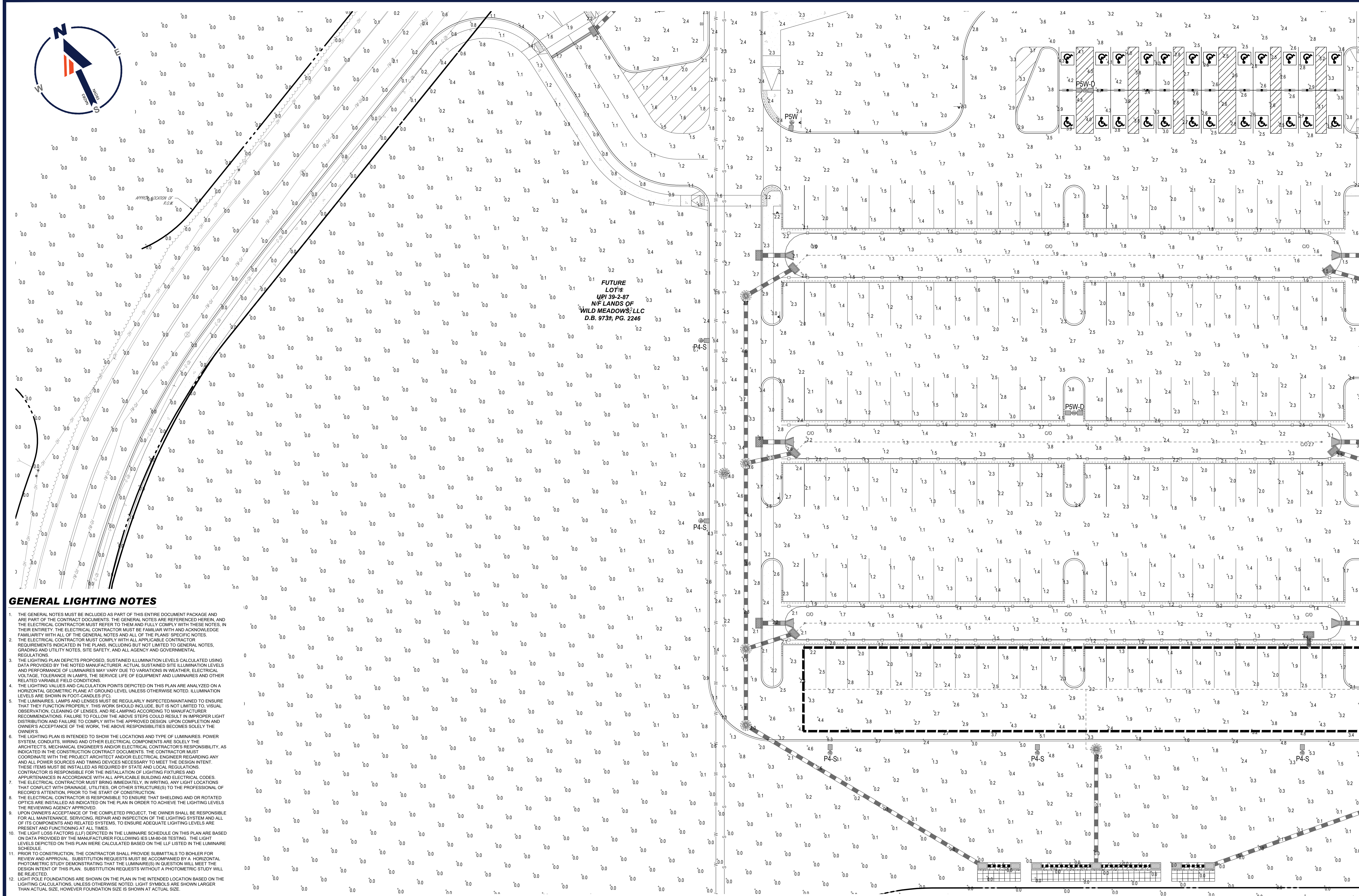
PROPOSED MEDICAL CENTER  
 5030 HORSESHOE PIKE  
 CALN TOWNSHIP  
 CHESTER COUNTY, PA  
 UPI 32-2-87  
 D.B. 9731, PG. 2246

**BOHLER**™  
 1515 MARKET STREET, SUITE 920  
 PHILADELPHIA, PA 19102  
 Phone: (267) 402-3400  
 Fax: (267) 402-3401  
 www.BohlerEngineering.com

REGISTERED LANDSCAPE ARCHITECT  
 PENNSYLVANIA LICENSE # L002729  
 REGISTERED LANDSCAPE ARCHITECT

SHEET TITLE:  
**LIGHTING PLAN B**  
 SHEET NUMBER:  
**L-203**  
 ORG. DATE - 10/04/2024

R:\2022\PAC220255-00-0B\DRAWINGS\PLAN\B\CIVIL\LIT\L-203.LIGHT.B



### GENERAL LIGHTING NOTES

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE ELECTRICAL CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE ELECTRICAL CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
2. THE ELECTRICAL CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE PLANS, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND GOVERNMENTAL REGULATIONS.
3. THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL, SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
4. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDELS (FC).
5. THE LUMINAIRE, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND RE-LAMPING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE OWNER'S.
6. THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRE. POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECT'S, MECHANICAL ENGINEER'S AND/OR ELECTRICAL CONTRACTOR'S RESPONSIBILITY, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS PER STATE AND LOCAL REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES.
7. THE ELECTRICAL CONTRACTOR MUST BRING IMMEDIATELY IN WRITING ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURE(S) TO THE PROFESSIONAL OF RECORD'S ATTENTION, PRIOR TO THE START OF CONSTRUCTION.
8. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND/OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.
9. UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS. TO ENSURE EQUIPMENT LIFESPANS ARE PRESENT AND FUNCTIONING AT ALL TIMES.
10. THE LIGHT LOSS FACTORS (LLF) DEPICTED IN THE LUMINAIRE SCHEDULE ON THIS PLAN ARE BASED ON DATA PROVIDED BY THE MANUFACTURER FOLLOWING IES LM-69 TESTING. THE LIGHT LEVELS DEPICTED ON THIS PLAN WERE CALCULATED BASED ON THE LLF LISTED IN THE LUMINAIRE SCHEDULE.
11. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO BOHLER FOR REVIEW AND APPROVAL. SUBSTITUTION REQUESTS MUST BE ACCOMPANIED BY A HORIZONTAL PHOTOMETRIC STUDY DEMONSTRATING THAT THE LUMINAIRE(S) IN QUESTION WILL MEET THE DESIGN INTENT OF THIS PLAN. SUBSTITUTION REQUESTS WITHOUT A PHOTOMETRIC STUDY WILL BE REJECTED.
12. LIGHT POLE FOUNDATIONS ARE SHOWN ON THE PLAN IN THE INTENDED LOCATION BASED ON THE LIGHTING CALCULATIONS, UNLESS OTHERWISE NOTED. LIGHT SYMBOLS ARE SHOWN LARGER THAN ACTUAL SIZE, HOWEVER FOUNDATION SIZE IS SHOWN AT ACTUAL SIZE.

### LUMINAIRE SCHEDULE

LABEL	QTY	MOUNTING HEIGHT	ARRANGEMENT	LUM. LUMENS	LLF	DESCRIPTION
P4-S	1	25'-0" AFG	SINGLE	20575	0.900	GARDCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 2 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (ECF-S-64L-1A-NW-G2-AR-2-x-HS)
P3-S	2	25'-0" AFG	SINGLE	26280	0.900	GARDCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 3, ZERO UP-LIGHT (ECF-S-64L-1A-NW-G2-AR-3-x)
P4-S	4	25'-0" AFG	SINGLE	20935	0.900	GARDCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 3 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (ECF-S-64L-1A-NW-G2-AR-3-x-HS)
P3-S	3	25'-0" AFG	SINGLE	27494	0.900	GARDCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 4, ZERO UP-LIGHT (ECF-S-64L-1A-NW-G2-AR-4-x)
P4-S	10	25'-0" AFG	SINGLE	21559	0.900	GARDCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 4 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (ECF-S-64L-1A-NW-G2-AR-4-x-HS)
PSW	5	25'-0" AFG	SINGLE	27330	0.900	GARDCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 5W, ZERO UP-LIGHT (ECF-S-64L-1A-NW-G2-AR-5W-x)
PSW-D	8	25'-0" AFG	BACK-BACK	27330	0.900	GARDCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 5W, ZERO UP-LIGHT (ECF-S-64L-1A-NW-G2-AR-5W-x)
W4	4	25'-0" AFG	SINGLE	2464	0.900	GARDCO BY SIGNIFY, PUREFORM LED WALL SCONCE, TYPE 4, ZERO UP-LIGHT (PWS-196L-459-NW-G2-4-EBPC-x)

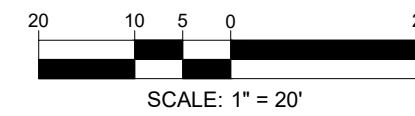
### POLE

LABEL	QTY	DESCRIPTION
P4-S	1	GARDCO BY SIGNIFY, STRAIGHT SQUARE STEEL POLE, 22'-6" LENGTH (SSS-CB-4-11-22-5-D1-DT5)
P3-S	2	GARDCO BY SIGNIFY, STRAIGHT SQUARE STEEL POLE, 22'-6" LENGTH (SSS-CB-4-11-22-5-D1-DT5)
P4-S	4	GARDCO BY SIGNIFY, STRAIGHT SQUARE STEEL POLE, 22'-6" LENGTH (SSS-CB-4-11-22-5-D1-DT5)
P3-S	3	GARDCO BY SIGNIFY, STRAIGHT SQUARE STEEL POLE, 22'-6" LENGTH (SSS-CB-4-11-22-5-D1-DT5)
P4-S	10	GARDCO BY SIGNIFY, STRAIGHT SQUARE STEEL POLE, 22'-6" LENGTH (SSS-CB-4-11-22-5-D1-DT5)
PSW	5	GARDCO BY SIGNIFY, STRAIGHT SQUARE STEEL POLE, 22'-6" LENGTH (SSS-CB-4-11-22-5-D1-DT5)
PSW-D	8	GARDCO BY SIGNIFY, STRAIGHT SQUARE STEEL POLE, 22'-6" LENGTH (SSS-CB-4-11-22-5-D1-DT5)
W4	4	GARDCO BY SIGNIFY, STRAIGHT SQUARE STEEL POLE, 22'-6" LENGTH (SSS-CB-4-11-22-5-D2-DT5)

### CALCULATION SUMMARY

LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVGMIN	MAXMIN
ALL POINTS	ILLUMINANCE	Fc	0.68	8.4	0.0	N/A	N/A
ACCESS DRIVE - EAST	ILLUMINANCE	Fc	2.72	8.1	1.0	2.72	8.10
ACCESS DRIVE - WEST	ILLUMINANCE	Fc	2.41	5.4	1.0	2.41	5.40
BUILDING REAR	ILLUMINANCE	Fc	2.51	6.7	1.0	2.51	6.70
PARKING AREA - NORTH	ILLUMINANCE	Fc	2.15	5.9	1.0	2.15	5.90
PARKING AREA - SOUTH	ILLUMINANCE	Fc	2.20	5.3	1.0	2.20	5.30

**THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY**



**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

### REVISIONS

REV	DATE	COMMENT	DRAWN BY

ATTENTION ALL CONTRACTORS: UTILITIES SHOWN HEREIN HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 87 OF 2014 AS AMENDED BY ACT 50 OF 2017, CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK.  
WWW.PH.CALLING  
610-293-3143

PROJECT No.: PAC220255-00-0B  
DRAWN BY: SJA / AM  
CHECKED BY: LB / SP  
DATE: 10/04/2024  
CAD ID.: P-CIVL-LGT

### SUBDIVISION / PRELIMINARY LAND DEVELOPMENT PLANS FOR

**MAIN LINE HEALTH, INC.**

PROPOSED MEDICAL CENTER  
5030 HORSESHOE PIKE  
CALN TOWNSHIP  
CHESTER COUNTY, PA  
UPI 32-2-87  
D.B. 9731, PG. 2246

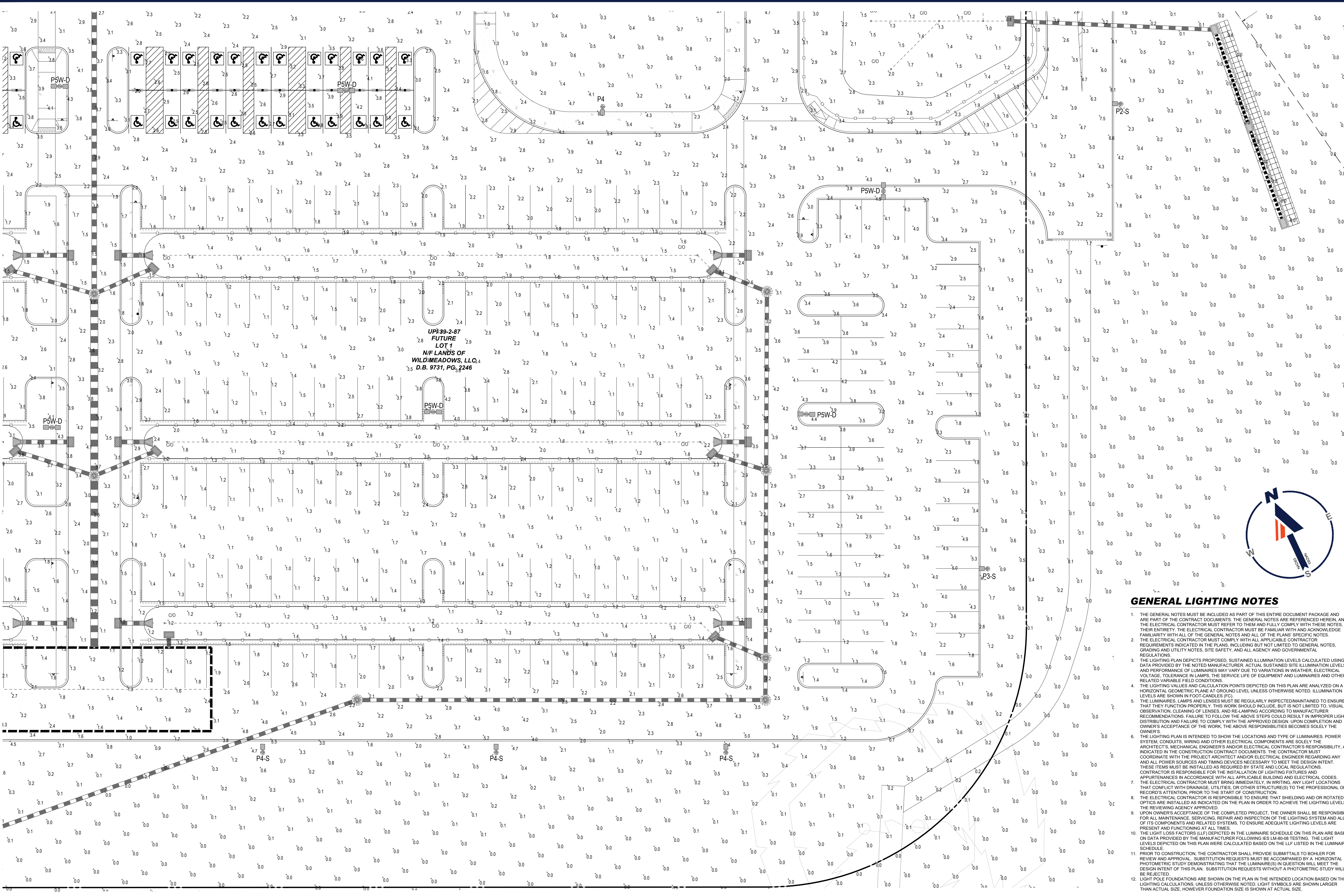
**BOHLER**  
1515 MARKET STREET, SUITE 920  
PHILADELPHIA, PA 19102  
Phone: (267) 402-3400  
Fax: (267) 402-3401  
www.BohlerEngineering.com

**D. F. NORTH**  
REGISTERED LANDSCAPE ARCHITECT  
PENNSYLVANIA LICENSE # L007229  
PENN. LANDSCAPE ARCH.

SHEET TITLE:  
**LIGHTING PLAN C**

SHEET NUMBER:  
**L-204**

ORG. DATE - 10/04/2024



UPI 39-287  
 FUTURE  
 LOT 1  
 N/F LANDS OF  
 WILDMEADOWS, LLC,  
 D.B. 9731, PG. 2246

REVISIONS			
REV	DATE	COMMENT	DRAWN BY

ATTENTION ALL CONTRACTORS:  
 UTILITIES SHOWN HEREON HAVE  
 BEEN DEVELOPED FROM UTILITY  
 COMPANY RECORDS AND/OR  
 ABOVE-GROUND INSPECTION OF THE  
 SITE. COMPLETENESS OR  
 ACCURACY OF THIS SIZE, DEPTH OR  
 HORIZONTAL LOCATION OF UTILITIES  
 CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF  
 PENNSYLVANIA LEGISLATIVE ACT NUMBER 87 OF 2014 AS  
 AMENDED BY ACT 50 OF 2017, CONTRACTORS MUST VERIFY  
 LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND  
 FACILITIES PRIOR TO START OF WORK.  
 WWW.PH.CALLING  
 800.293.3343

PROJECT No.: PAC220255-00-B  
 DRAWN BY: SJA / AM  
 CHECKED BY: LB / SP  
 DATE: 10/04/2024  
 CAD ID: P-CIVL-LST

PROJECT:  
**SUBDIVISION /  
 PRELIMINARY LAND  
 DEVELOPMENT  
 PLANS**  
 FOR  
**MAIN LINE  
 HEALTH, INC.**

PROPOSED MEDICAL CENTER  
 5030 HORSESHOE PIKE  
 CALN TOWNSHIP  
 CHESTER COUNTY, PA  
 UPI 32-287  
 D.B. 9731, PG. 2246

**BOHLER**  
 1515 MARKET STREET, SUITE 920  
 PHILADELPHIA, PA 19102  
 Phone: (267) 402-3400  
 Fax: (267) 402-3401  
 www.BohlerEngineering.com

REGISTERED LANDSCAPE ARCHITECT  
 PENNSYLVANIA LICENSE # LG02729  
 REGISTERED LANDSCAPE ARCHITECT

SHEET TITLE:  
**LIGHTING  
 PLAN D**  
 SHEET NUMBER:  
**L-205**  
 ORG. DATE - 10/04/2024

**GENERAL LIGHTING NOTES**

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REPHRASED HEREIN AND THE ELECTRICAL CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE ELECTRICAL CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
- THE ELECTRICAL CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE PLANS, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND GOVERNMENTAL REGULATIONS.
- THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL, SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDELS (FC).
- THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND RELAMPING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE OWNER'S.
- THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECT'S, MECHANICAL ENGINEER'S AND/OR ELECTRICAL CONTRACTOR'S RESPONSIBILITY, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TYPING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES.
- THE ELECTRICAL CONTRACTOR MUST BRING IMMEDIATELY IN WRITING ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURE(S) TO THE PROFESSIONAL OF RECORD'S ATTENTION, PRIOR TO THE START OF CONSTRUCTION.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE RECORDING AGENCY APPROVED.
- UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.
- THE LIGHT LOSS FACTORS (LLF) DEPICTED IN THE LUMINAIRE SCHEDULE ON THIS PLAN ARE BASED ON DATA PROVIDED BY THE MANUFACTURER FOLLOWING IES LM-80-08 TESTING. THE LIGHT LEVELS DEPICTED ON THIS PLAN WERE CALCULATED BASED ON THE LLF LISTED IN THE LUMINAIRE SCHEDULE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO BOHLER FOR REVIEW AND APPROVAL. SUBSTITUTION REQUESTS MUST BE ACCOMPANIED BY A HORIZONTAL PHOTOMETRIC STUDY DEMONSTRATING THAT THE LUMINAIRE(S) IN QUESTION WILL MEET THE DESIGN INTENT OF THIS PLAN. SUBSTITUTION REQUESTS WITHOUT A PHOTOMETRIC STUDY WILL BE REJECTED.
- LIGHT POLE FOUNDATIONS ARE SHOWN ON THE PLAN IN THE INTENDED LOCATION BASED ON THE LIGHTING CALCULATIONS, UNLESS OTHERWISE NOTED. LIGHT SYMBOLS ARE SHOWN LARGER THAN ACTUAL SIZE, HOWEVER FOUNDATION SIZE IS SHOWN AT ACTUAL SIZE.

**LUMINAIRE SCHEDULE**

LABEL	QTY	MOUNTING HEIGHT	ARRANGEMENT	LUM. LUMENS	LLF	DESCRIPTION
P3-S	1	25'-0" AFG	SINGLE	20575	0.900	GARDCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 2 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (ECF-S-64L-1A-NW-G2-AR-2-X-HS)
P3	2	25'-0" AFG	SINGLE	26280	0.900	GARDCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 3, ZERO UP-LIGHT (ECF-S-64L-1A-NW-G2-AR-3-X)
P3-S	4	25'-0" AFG	SINGLE	20935	0.900	GARDCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 3 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (ECF-S-64L-1A-NW-G2-AR-3-X-HS)
P4	3	25'-0" AFG	SINGLE	27494	0.900	GARDCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 4, ZERO UP-LIGHT (ECF-S-64L-1A-NW-G2-AR-4-X)
P4-S	10	25'-0" AFG	SINGLE	21559	0.900	GARDCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 4 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (ECF-S-64L-1A-NW-G2-AR-4-X-HS)
PSW	5	25'-0" AFG	SINGLE	27330	0.900	GARDCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 5W, ZERO UP-LIGHT (ECF-S-64L-1A-NW-G2-AR-5W-X)
PSW-D	4	25'-0" AFG	BACK-BACK	27330	0.900	GARDCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 5W, ZERO UP-LIGHT (ECF-S-64L-1A-NW-G2-AR-5W-X)
W4	8	25'-0" AFG	SINGLE	2464	0.900	GARDCO BY SIGNIFY, PUREFORM LED WALL SCONCE, TYPE 4, ZERO UP-LIGHT (PWS-196L-45W-NW-G2-4-EBPC-X)

**POLE**

GARDCO BY SIGNIFY, STRAIGHT SQUARE STEEL POLE, 22'-6" LENGTH (SSS-CB-4-11-22-5-D1-DT5)
GARDCO BY SIGNIFY, STRAIGHT SQUARE STEEL POLE, 22'-6" LENGTH (SSS-CB-4-11-22-5-D1-DT5)
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**CALCULATION SUMMARY**

LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVGMIN	MAXMIN
FALL POINTS	ILLUMINANCE	Fc	0.88	8.4	0.0	N/A	N/A
ACCESS DRIVE - EAST	ILLUMINANCE	Fc	2.72	8.1	1.0	2.72	8.10
ACCESS DRIVE - WEST	ILLUMINANCE	Fc	2.41	5.4	1.0	2.41	5.40
BUILDING REAR	ILLUMINANCE	Fc	2.51	6.7	1.0	2.51	6.70
PARKING AREA - NORTH	ILLUMINANCE	Fc	2.15	5.9	1.0	2.15	5.90
PARKING AREA - SOUTH	ILLUMINANCE	Fc	2.20	5.3	1.0	2.20	5.30

**THIS PLAN TO BE UTILIZED  
 FOR LIGHTING PURPOSES  
 ONLY**

